

BYLAW 10-2014

A BYLAW OF STRATHCONA COUNTY IN THE PROVINCE OF ALBERTA, FOR THE PURPOSE ADOPTING THE ARDROSSAN AREA STRUCTURE PLAN.

WHEREAS it is deemed advisable to adopt the Ardrossan Area Structure Plan;

NOW THEREFORE, the Council of Strathcona County, duly assembled, pursuant to the authority conferred upon it by the *Municipal Government Act, R.S.A. 2000, c. M-26*, and amendments thereto, enacts as follows:

1. That this Bylaw 10-2014 is to be cited as the "Ardrossan Area Structure Plan".
2. That Schedule "A" attached hereto is hereby adopted as part of this Bylaw.
3. This bylaw comes into effect after third reading and upon being signed.
4. That Bylaw 3-97 shall be repealed after third reading of this Bylaw.

Read a first time this 20 day of May, 2014.

Read a second time this 20 day of May, 2014

Read a third time and finally passed this 24 day of June, 2014



Mayor



Director, Legislative and Legal Services

Date Signed: July 15/14

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# Hamlet of Ardrossan Area Structure Plan

Planning and Development Services  
May 2014



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## SECTION 1: INTRODUCTION

The hamlet of Ardrossan is located within central Strathcona County and is the largest community outside of Sherwood Park. The Strathcona County Municipal Development Plan establishes Ardrossan as a minor growth hamlet that will accommodate limited population growth, employment, services and housing.

This Area Structure Plan (ASP) replaces the previous Ardrossan Area Structure Plan that was adopted in 1997. The ASP provides an updated policy framework for future development within the hamlet. It will also ensure that the nature of future development is consistent with the policies established in the Capital Region Growth Plan and the Municipal Development Plan, and has regard for input given by the residents of Ardrossan and surrounding areas through the planning process.

### 1.1 GENERAL PURPOSE

The purpose of this ASP is to provide a general land use and development framework to guide future growth within Ardrossan. Through outlining the general pattern for land uses, major roads and utility services for the area, the ASP provides a starting point for the development of the community.

The policies shall guide future land use designation and subdivision decisions. It is intended that the policy framework will respond to future subdivision and development proposals in a sustainable manner over the next 10 to 15 years, or to the build-out of the existing community.

### 1.2 LOCATION

Ardrossan is located within Strathcona County, approximately 6.5 km east of Sherwood Park, and 15 km east of Edmonton. The north boundary is approximately 1 km south of the Highway 16/824 interchange.

The Plan Area consists of approximately 141.5 hectares (350 acres) of land, including the following quarter sections:

- SW 11-53-22-W4
- NW 2-53-22-W4
- Part of SE 10-53-22-W4
- Part of NW 11-53-22-W4

These lands are illustrated by the Plan Area boundary in Map 2.

### 1.3 PLAN HORIZON

The ASP is expected to have a 10 to 15 year time horizon, whereupon it may be reviewed. Nothing shall prevent an earlier review of the ASP, should Council elect to do so.

### 1.4 INTERPRETATION

The ASP is divided into four general parts:

The **Background and Context** are provided within Sections 1 – 4. They include plan purpose, location, existing legislative framework, exact plan boundaries, land ownership, existing land uses and services, and various technical studies.

The **Overall Community Vision** and **Development Concept** are described in Sections 5 and 6.

The **Plan Framework**, which forms the backbone of this document, is outlined in Section 7. These policies were derived following the identification of various issues, opportunities and objectives. The Plan's policies are intended to achieve the Plan's objectives and provide the framework for long-term sustainable development of the hamlet. This section is organized into subsections that directly correspond to the Municipal Development Plan.

The **Implementation Strategies** are described in Section 8 and are intended to provide specific direction to achieve plan objectives and establish criteria for monitoring and enforcement of this plan.

## SECTION 2: PLANNING FRAMEWORK

### 2.1 MUNICIPAL GOVERNMENT ACT

The *Municipal Government Act* (RSA 2000, cM-26) is the legislation that empowers municipalities to govern the development of lands within their boundaries in a manner that is logical, timely, economical and environmentally responsible. This Plan has been prepared in accordance with the *Municipal Government Act*.

Section 633 of the *Act* enables municipalities to adopt Area Structure Plans as statutory plans, which provide a framework for future land use patterns, subdivision and development. ASPs are to provide the following guidance, at a more detailed level than the MDP for an area of a municipality:

- describe the sequence of development proposed for the Plan Area;
- describe the land uses proposed for the area either generally or with respect to specific parts of the area;
- describe the density of population proposed for the area either generally or with respect to specific parts of the area;
- describe the general location of major transportation routes and public utilities;
- be consistent with the municipality's Municipal Development Plan; and
- be consistent with the Provincial Land Use Policies.

### 2.2 CAPITAL REGION GROWTH PLAN

In April 2008, the Province of Alberta mandated the formation of the Capital Region Board by adopting the Capital Region Board Regulation AR 49/2008. The Board was tasked with creating a Capital Region Growth Plan (Growth Plan) that would guide regional land use planning and transit networks that address regional affordable housing issues and coordinate a regional geographic information system. Part 3, Section 17(1) of the Capital Regional Board Regulation states, among other things, a participating municipality will not take any action, including the adoption of an Area Structure Plan that conflicts with the Growth Plan. Strathcona County is a participating member of the Capital Region Board and is responsible for conforming to and implementing the Growth Plan.

The Growth Plan specifically identifies Priority Growth Areas and requires that the majority of the new growth in the Capital Region be concentrated in these areas. However, the Growth Plan also recognizes that all municipalities should be allowed limited growth outside the Priority Growth Areas, appropriate to their size and in accordance with principles and policies of the Plan.

Policy 2.2.II.C notes that Growth is allowed outside priority growth areas, in accordance with the following:

- (i) *Allow development outside the priority growth areas if the following criteria are met:*
  - a. *It is contiguous with the existing development;*
  - b. *It follows the principles and policies of [the Growth Plan] related to the form of development;*
  - c. *The level of service provided is appropriate to the form of development; and*
  - d. *Development in this area will not adversely impact the provision of regional infrastructure required to serve the priority growth areas.*
- (ii) *Growth generated by new development should conform to the principles and policies of the Capital Region Growth Plan.*
- (iii) *All municipalities shall be allowed to grow. The cumulative impact of growth outside the priority growth areas shall be monitored by the Capital Region Board.*

Ardrossan has been designated (along with Josephburg and South Cooking Lake) as a growth community, where limited growth will be contemplated over the life of the Growth Plan. The Growth Plan does not identify specific density or land use targets for Ardrossan and questions regarding growth are left to the policies of the Municipal Development Plan to guide the preparation of the land use framework for hamlets outside of Priority Growth Areas.

## **2.3 MUNICIPAL DEVELOPMENT PLAN (BYLAW 1 – 2007)**

The Municipal Development Plan (MDP), Bylaw 1 – 2007, is the primary strategic land use planning document, providing high level land use, development, economic development, social and servicing policy direction for Strathcona County. The MDP acknowledges the community's vision, goals and objectives for future development in the County and presents guidance and direction for how these can be achieved. It also presents planning objectives and general policies which serve to guide the preparation of more detailed Area Structure Plans that provide detailed analysis and development of land use and servicing principles.

Objective 6 within Section 4 (Sustainability and Growth Management) of the MDP directs "urban growth to Sherwood Park, and to a lesser extent the hamlets of Ardrossan, Josephburg, and South Cooking Lake to make efficient use of the limited urban land bases."

Ardrossan has been identified as a minor growth community that will continue to provide limited population growth, employment, services and housing. The MDP encourages development of a range of commercial uses which will serve the day-to-day needs of the community at a scale that is appropriate for Ardrossan and in a manner that builds on the character of the community. The MDP also encourages inclusion of a wider range of housing options within the hamlet of Ardrossan to

meet lifecycle shelter requirements, lifestyles, social needs and income levels. It further states that the growth and expansion potential of the hamlet of Ardrossan will be determined by the character of land and infrastructure servicing capacities.

Section 4.12 of the MDP requires the County to review and update existing ASPs for Ardrossan, and a number of rural hamlets. The Section also requires that the updated ASPs “encourage the existing urban areas to become more complete communities with vibrant, mixed-use neighbourhoods.”

To provide compatibility, this ASP follows the general structure and format of the Strathcona County MDP. Accordingly, applicable policy directives are discussed within Section 7 of this document by topics found within the MDP.

## **2.4 LAND USE BYLAW (BYLAW 8 – 2001)**

A Land Use Bylaw is a document that prescribes specific uses and regulations that could be developed upon a particular property. Existing land use districts from the Land Use Bylaw for Ardrossan are shown on Map 3.

Any future amendment to the Land Use Bylaw will need to conform to this ASP. Land use districts found within the current Land Use Bylaw will not be modified to fit this ASP prior to the County considering a specific development proposal.

## SECTION 3: COMMUNITY PROFILE

### 3.1 POPULATION, DEMOGRAPHICS AND SOCIAL CONDITIONS

According to the 1994 census, the hamlet of Ardrossan had a population of 113 persons. An analysis of the population data for Ardrossan indicates that for the 1984 to 1994 period, the population level had remained relatively constant with only minor fluctuations.

Ardrossan has experienced growth over the last number of years. The 2009 Strathcona County census measured Ardrossan's population at 434, and the 2011 Government of Canada census measured Ardrossan's population at 510.

The 2012 Strathcona County census showed a population of 514 for Ardrossan. The largest age cohort was the group of birth to 14 years old, with a count of 126 (24.8%). The second most populous age cohorts were the 45-54 years with a count of 96 (18.9%) followed by the 35-44 cohort with a count of 95 (18.7%).

The 2012 County census noted that the vast majority of dwelling units present within Ardrossan are single detached dwellings, with a count of 173 (98.3%). The average household size within Ardrossan has been measured at 2.9 persons per dwelling unit.

Further details about gender split, dwelling type and employment/student status are described in Appendix A.

### 3.2 EXISTING LAND USE

Existing land use patterns within Ardrossan show a community that has grown to its maximum south of Pointe-aux-Pins Creek, with development now occurring to the north of the creek.

#### Existing Residential

The hamlet of Ardrossan consists of an original core area that contains older dwellings configured in a grid street pattern; and a newer, more recent housing development area, with single dwellings on curvilinear and cul-de-sac streets.

The community almost completely consists of single detached housing. There are currently no duplexes, row houses, single dwellings attached to non-residential structures or apartments in Ardrossan.

#### Existing Commercial

A small commercial area on the east side of Highway 824 and a veterinary clinic located on the west side of Highway 824 are the only commercial development currently within the hamlet of Ardrossan. The existing commercial area consists of a convenience store, a liquor store, a bottle depot, and an automotive and tire

center. A veterinary clinic is located within the existing Country Residential area on the west side of Highway 824, north of the CN railway tracks.

#### Existing Institutional

Institutional land uses in Ardrossan include schools, a church, a recreation complex, a post office, a drop-in senior's center, a recycling center, a pump house, a community hall and a fire hall.

There are four schools within the hamlet of Ardrossan: Holy Redeemer Catholic School; Ardrossan Elementary School; Ardrossan Junior/Senior High School; and New Horizons Charter School. The school sites are clustered to facilitate the sharing of common play fields. At present, the Ardrossan public schools serves a 118 square mile catchment area generally comprising of lands east of Highway 21, and to the north and south of the community.

The Ardrossan Recreation Complex (ARC) is located south east of Highway 824, on First Avenue. The ARC facility was expanded and upgraded in 2012 and offers comprehensive recreation opportunities to residents and the surrounding communities.

The Ardrossan fire hall is located within the existing core area, on Main Street. The fire hall is currently staffed by volunteer firefighters.

### 3.3 LAND USE DISTRIBUTION

Land use distribution for existing land uses within the hamlet of Ardrossan is described in the following table:

Table 1: Existing Land Use Distribution

| Land Use                  | Hectares     | Percentage   |
|---------------------------|--------------|--------------|
| Existing Residential      | 13.5         | 9.3          |
| Country Residential       | 8.0          | 5.5          |
| Commercial                | 1.0          | 0.7          |
| Institutional             | 31.3         | 21.5         |
| Vacant Land               | 59.7         | 41.2         |
| <b>Sub Total</b>          | <b>113.5</b> | <b>78.2</b>  |
| Environmental Reserve     | 2.5          | 1.8          |
| P.U.L./ Municipal Reserve | 8.0          | 5.5          |
| Rail Right-of-Way         | 5.6          | 3.9          |
| Public Roadway            | 15.5         | 10.6         |
| <b>Total</b>              | <b>145.1</b> | <b>100.0</b> |

### 3.4 PROPERTY OWNERSHIP

Property ownership for the Plan Area is described in the following table. The majority of the County-owned lands are where the schools and recreational facilities are located. Property ownership does not include roads and rail rights-of-way.

Table 2: Property Ownership

| Ownership         | Hectares | Percentage |
|-------------------|----------|------------|
| Strathcona County | 41.8     | 34         |
| Private Ownership | 82.3     | 66         |
| <b>Total</b>      | 124.1    | 100        |

### 3.5 EXISTING TRAILS AND OPEN SPACE NETWORK

Two trails have been constructed in the municipal reserve lands along Pointe-aux-Pins Creek. Presently, they are not linked and do not connect residents with the schools, sports fields, or the recreation complex. As a result, the majority of pedestrian traffic through the community takes place on the shoulders of the Highway and along streets that do not have sidewalks.

The recreational open space system within the Plan Area is comprised of both structured play fields and natural open space consisting of Pointe-aux-Pins Creek and storm water management facilities including the pond located east of the separate school.

### 3.6 EXISTING TRANSPORTATION NETWORK

#### Regional Transportation Network

The regional transportation network surrounding the Plan Area is comprised of a number of major connector roadways including Highway 16, Township Road 530 and Highway 824. The characteristics of the roadways include:

- Highway 16, located north of the Plan Area boundary, is a divided highway that provides direct access to Sherwood Park, Edmonton and points east;
- Township Road 530, located south of the Plan Area acts as an east-west rural arterial road for those driving to the Country Residential area and to Sherwood Park;
- Highway 824 runs north and south along the west boundary of the hamlet of Ardrossan and connects Ardrossan to Highway 16 and Township Road 530; and
- Range Road 221A runs south-eastward from the south end of Ardrossan, connecting to Township Road 530.

Map 1 (Location Plan) shows the relation of Ardrossan to the provincial highways that run through Strathcona County.

#### Internal Transportation Network

The hamlet of Ardrossan's internal transportation network has been developed based on a grid roadway system in the original core area, and curvilinear local roads within the new development area, north of Pointe-aux-Pins Creek.

The main accesses into Ardrossan from Highway 824 are at Third Avenue and Main Street. The Third Avenue access was constructed in 2013, coinciding with the closure of the access at Range Road 221A.

At present, Main Street is not a continuous road, and was constructed in two segments. The northerly segment runs eastward from Highway 824 to Creekside Drive. The southerly segment runs northeastward from Range Road 221A, crossing the creek, and merging with Township Road 531, which provides a connection to Range Road 221 to the east.

#### Public Transit

At present, Ardrossan is not served by regularly scheduled public transit; however eligible residents can access the County's Mobility Bus service.

### **3.7 EXISTING SERVICING**

Servicing capacity (water, wastewater and stormwater) for Ardrossan is critical for consideration of future growth. Current servicing constraints have limited development in the hamlet based on the capacity of existing infrastructure.

#### Water Supply System

The water distribution system is connected to a Canadian Utilities line that runs northward of Ardrossan and also serves the Hamlet of Josephburg, the Josephburg Water Co-op, and existing country residential developments north of Ardrossan. The water reservoir, located on the north side of Third Avenue at Queen Street, also acts as an equalizing storage for the water supply line in the event of low water supply or pressure. There are a total of seven hydrants within the Plan Area – two for the school structures and five dispersed throughout the hamlet.

#### Wastewater System

All existing areas of the hamlet of Ardrossan are serviced by the municipal sewer system. The system includes three lift stations. A sewage treatment lagoon is located to the northwest of the Plan Area, and is a seasonal discharge lagoon which serves the hamlet of Ardrossan and school area.

As of 2012, the Ardrossan wastewater lagoon was considered to be at capacity and could not accommodate any more storage. In order to facilitate future residential development within the Plan Area, a wastewater forcemain extending

from the Capital Region Wastewater Treatment Plant to the location of the Ardrossan wastewater lagoon was constructed in 2013-14.

### Stormwater System

The existing stormwater drainage system consists mainly of rural ditches and culverts discharging towards Pointe-aux-Pins Creek. There are two point discharges to the creek from culverts and some overland/ditch discharge. The recreation fields drain into a series of ditches which discharge in a west and south-westerly direction to the creek.

## **3.8 EXISTING ENVIRONMENTAL CONDITIONS**

### Wildlife Corridors

In 2005, Strathcona County commissioned an Assessment of Environmental Sensitivity and Sustainability in support of the MDP. The objective was to quantify and map environmental sensitivity of Strathcona County lands for future sustainable planning and development (Spencer Environmental Management Services Ltd. 2005).

This study resulted in the identification of Priority Environment Management Areas (PEMAs), which were prioritized based on relative abundance of natural features and environmental sensitivity of lands. The abundance of resources is represented by one of four categories:

1. Protected Areas (Federal or Provincial designation)
2. High Sensitivity (>3 natural resources)
3. Medium Sensitivity (1-2 natural resources)
4. Low Sensitivity (0 natural resources)

The PEMA map identifies the hamlet of Ardrossan to have areas of High Sensitivity. The ecological significance of Pointe-aux-Pins Creek within the hamlet of Ardrossan is a key component for local drainage and wildlife movement.

The Pointe-aux-Pins Creek and the Canadian National Railway (CNR) corridors contain significant tracts of habitat and are critical for the maintenance of some wildlife species in the area including a vital linkage function as migration and travel corridors for Whitetail Deer and other wildlife within Ardrossan.

The riparian habitat is considered to have high sensitivity to disturbance. Subdivision proposals should stress habitat protection to maintain the high wildlife values and reduce siltation of the creek channel. As a result it is imperative that the creek corridor be maintained and even enhanced by creating a wider riparian buffer, which will benefit the downstream sections of the creek.

### Geology and Soil

The lands within Ardrossan are generally considered to be gently rolling topography, with Soils within Ardrossan are predominantly Class 1 and 2, with the Falun soil unit, a fine loamy soil being the predominant soil type.

### Hydrology

Pointe-aux-Pins Creek is the major water feature and drainage channel within Ardrossan. The creek runs northwestward from its headwaters south of Wye Road, through the community to the North Saskatchewan River. The creek acts as the main drainage channel. Because of this there is potential for flooding. The County's MDP states that no permanent structures are allowed within the 1:100 year flood plain of Strathcona County's rivers, streams, lakes and natural watercourses.

The engineering design for the capital road project to extend Third Avenue to Highway 824 provided a flood protection function for the lands to the south (Ardrossan Recreation Center). Flooding potential of the area was assessed, and the results indicated that the elevations at the bridge culvert on Highway 824 were lower than the surrounding lands around the proposed Third Avenue extension. This means that if water levels rise, they would first fill the bridge culvert and lands to the west of Highway 824 before it would flood the lands to the east of Highway 824.

### Environmental Reserve

The previous Area Structure Plan noted that slope instabilities along Pointe-aux-Pins Creek may occur as a result of development, directly and indirectly through clearing of vegetation and resulting erosion. The recommended setback was recommended to be determined at the subdivision stage through a geotechnical and biophysical analyses completed by qualified professionals, although the MDP and Land Use Bylaw both prescribe a minimum 30.0 metre setback from the top-of-bank from the creek.

Environmental Reserve along Pointe-aux-Pins Creek has been identified and dedicated through previous subdivision proposals.

## SECTION 4: BACKGROUND STUDIES

Several background studies have been commissioned by Strathcona County concerning the future development of Ardrossan. These studies support the policy framework outlined within the ASP. A summary of these studies and their major recommendations are contained within this section.

### 4.1. ARDROSSAN COMMUNITY RECREATION MASTER PLAN

In 2009, County Council approved the Ardrossan Community Recreation Master Plan (ACRMP) to guide future provision of community facilities, parks and, open spaces in Ardrossan.

The intent of the ACRMP was to build upon the goals, policies and standards presented in existing Strathcona County planning documentation, and be a more detailed plan that would further support the Open Space and Recreation Facility Strategy (OSRFS).

The ACRMP identified and discussed a number of planned capital projects that would implement the ACRMP between 2009 and 2023. They include:

- Ardrossan Recreation Complex Infrastructure Reinvestment
- Expansion of Trails Network within Ardrossan
- Relocation of outdoor rink
- Sportsfield upgrades
- Ardrossan Youth Park
- Ardrossan Memorial Hall Expansion

In considering the future development of recreation and well-being within Ardrossan, the plan identified four strategic themes for discussion:

- A Walkable Community with expansion of the existing trail network in Ardrossan (Figure 1);
- Places for Community Gatherings, with the future development of the existing grounds adjacent to the Memorial Hall and Senior's Centre (Figure 2);
- Places for Specialized Activities and Youth with the future development of a permanent skateboard/BMX park and a spray park proposed for the open space adjacent to the Memorial Hall and Senior's Centre; and
- Playing Team Sports with the future upgrading of existing sports fields and the future relocation of the outdoor rink to the Recreation Complex property.

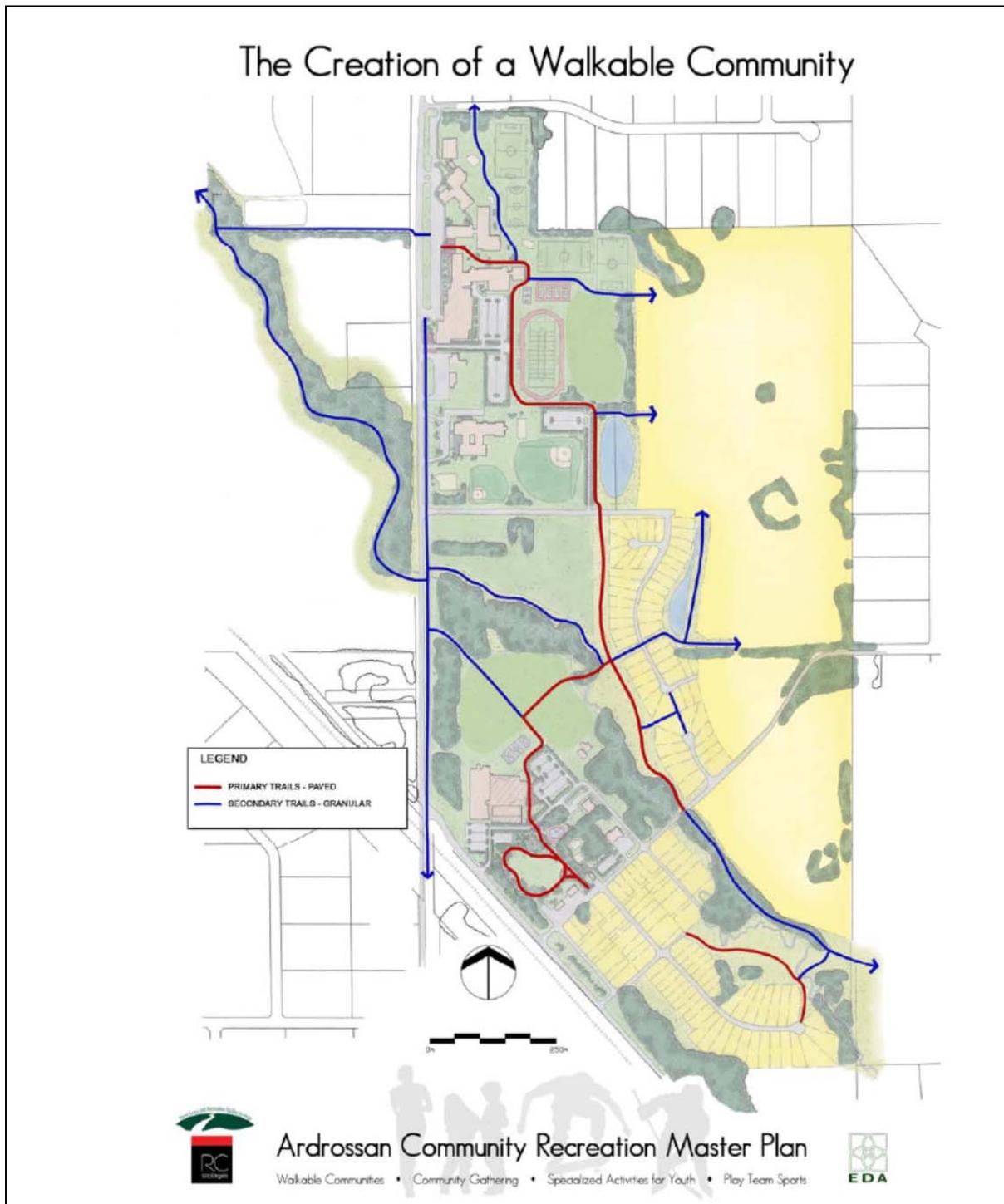


FIGURE 1: Proposed Trail System (ACRMP, 2009)

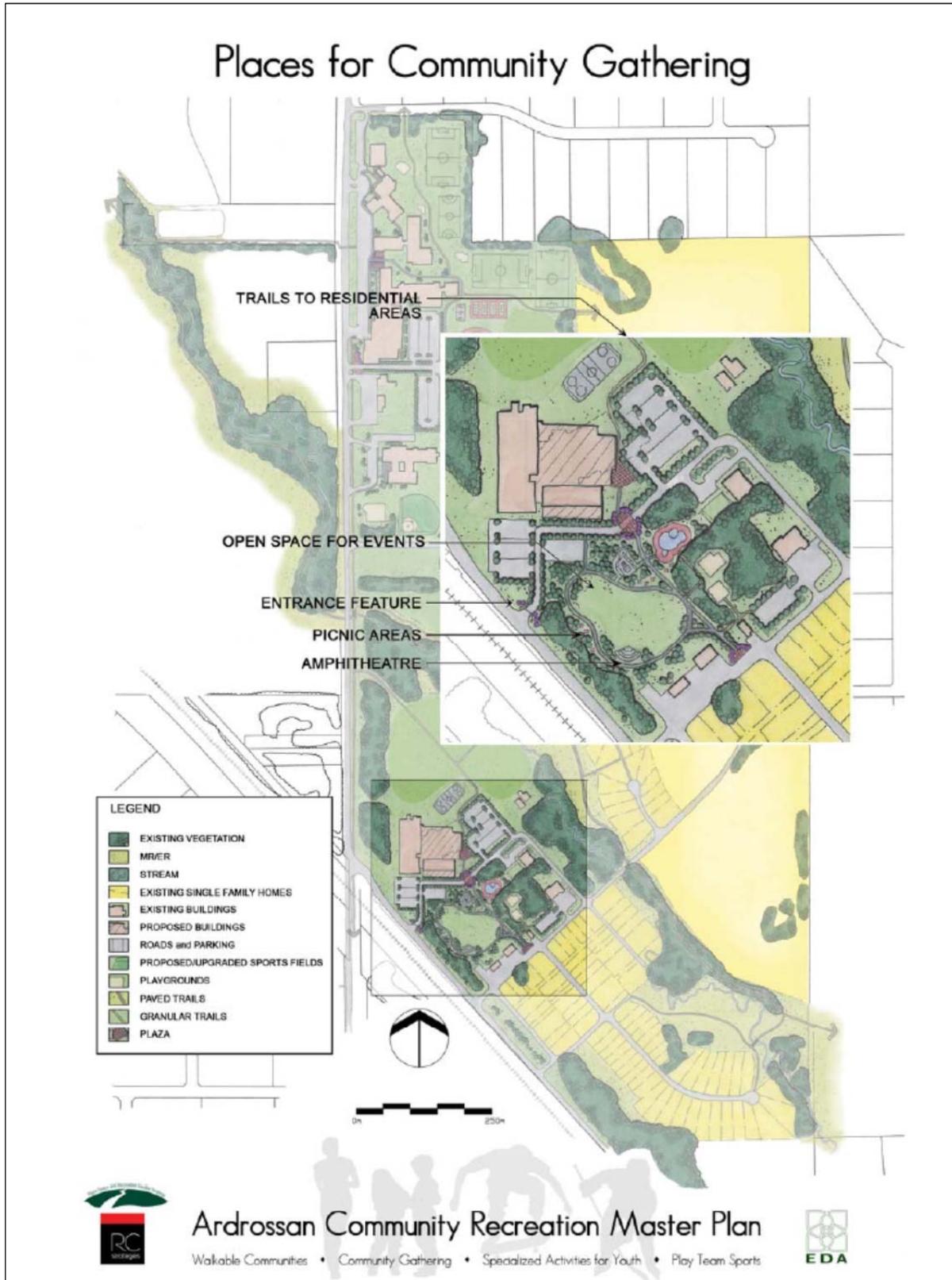


FIGURE 2: Proposed Community Gathering Areas (ACRMP, 2009)

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## 4.2. BIOPHYSICAL ASSESSMENT

A biophysical assessment was completed as part of the Ardrossan Area Structure Plan review by Strathcona County in 2011. The analysis focused on:

- Determining the applicability of the biophysical information gathered in 1997;
- Determining the general extent of the floodplain for Pointe-aux-Pins Creek;
- Assessing how the floodplain may affect future development; and
- Determining natural areas that would qualify as Environmental Reserve (ER).

In preparing the assessment, historical airphotos were reviewed, from 1976 to 2011, and relevant environmental literature concerning the ecology surrounding the hamlet was consulted. County staff members were also able to access some of the undeveloped lands within Ardrossan to assess potential Environmental Reserve areas.

Soils identified were from the Falun unit, with Gleysols occurring in low lying/depressional areas.

A number of resources were consulted regarding the floodplain delineation of Point-aux-Pins Creek. The assessment notes that vegetation and soils present do not support the floodplain as an ephemeral wetland feature.

The wetlands scattered across the remaining undeveloped private lands within the Plan Area boundaries were identified as potential Environmental Reserve lands. Potential Environmental Reserve Areas are shown on Figure 3.

At the time of subdivision, more detailed biophysical and geotechnical assessments will be required to accurately delineate Environmental Reserve boundaries.

The biophysical assessment contains the following recommendations:

- The entire Pointe-aux-Pins Creek system should be classified as ER. Future subdivision should provide a wider buffer along the top of bank of the creek. Upland vegetation restoration may be required to achieve this.
- At the time of subdivision or development, geotechnical assessments are recommended to determine suitability of substrate.
- At the time of subdivision, more detailed biophysical assessments will be required to accurately delineate ER boundaries.



FIGURE 3: Potential Environmental Reserve Lands  
(Hamlet of Ardrossan, Biophysical Analysis, 2013)

### 4.3. TRAFFIC IMPACT ASSESSMENT

Strathcona County commissioned a Traffic Impact Assessment (TIA) in 2013 to consider the impacts of the proposed development on the road networks in and around Ardrossan.

Alberta Transportation (AT) has jurisdiction over Highway 824 and Highway 16, and is therefore a review agency for the TIA. Although AT has not given final approval (as of April, 2014), the TIA is at a stage of completion that will allow for the passage of this ASP. Implementation details shall be finalized to the satisfaction of AT as subdivision progresses within Ardrossan.

The TIA examined the existing and future road networks within and surrounding the community. The TIA proposes a hierarchy of roads serving the community that include:

- Arterial Road - Highway 824
- Collector Roads - Main Street; Queen Street; Third Avenue (between Highway 824 and Main Street); Range Road 221A; and Township Road 531;
- Local Roads – all other streets within the community

Several recommendations are made within the TIA that will guide the development of the community's road network as it continues to build out. The various projects, and ultimate configurations, are illustrated within Figures 4 and 5. No definite timeline has been given for the recommendations and final decision of when these projects would be undertaken rests with Council. The recommendations include:

- Highway 824
  - Continued development within Ardrossan will require the intersection of Highway 824/Main Street to a Type IV configuration. Interim improvements to the intersection are to be undertaken with the approval of the initial phases of residential development.
  - Introduction of a four lane cross-section from the south access to the Lindale Park subdivision to Third Avenue. This would occur either when the Main Street intersection is being upgraded or when AT undertakes pavement rehabilitation along 824.
  - Introduction of a service road on the east side of Highway 824, with reduced access points to the schools, when traffic growth on the highway approaches 10,000 vehicles per day.
  - Parking and drop-off areas be developed on the school properties fronting Highway 824 to reduce the current conditions of parent pickup and drop off on the shoulders of the highway, as well as students having to cross the highway to access the existing parking lot to the west of the highway.
  - Consolidation of accesses along the west side of Highway 824, south of Third Avenue would be required with redevelopment or changes to current land uses.

- 
- Main Street (North Section)
    - The existing northerly leg of Main Street has a deficient right-of-way width (existing 20 m, 30 m required). The TIA recommends that 5 m rights-of-way be acquired/dedicated to accommodate future sidewalk construction.
    - The ultimate cross-section for Main Street is illustrated within Figure 6.
    - The access points to the future 'Mixed Use Area' on Main Street and Third Avenue be offset 75 m from the centreline of Highway 824, in accordance with the County's Design and Construction Standards.
  
  - Main Street (South Section)
    - The existing southerly leg of Main Street will require upgrading with the widening of the roadway width to 7.5 m – 8.0 m, with an additional 4.0 m of right-of-way to be acquired for the construction of sidewalks.
    - The Main Street crossing of Pointe-aux-Pins Creek will require replacement likely during the life of the Area Structure Plan.
  
  - Range Road 221A
    - Range Road 221A will require upgrading to a roadway width of 9.0 m, without sidewalks. To better facilitate traffic flows, the introduction of a horizontal roadway curve at the intersection of Queen Street and Range Road 221A is necessary. Type II intersection upgrades are proposed for both the intersections of Main Street and King Street.
  
  - Queen Street
    - Queen Street will require upgrading to the roadway width of 9.0 m with sidewalk construction on the northwest side only. Acquisition of an additional 10.0 m of road right-of-way will also need to occur.
  
  - Third Avenue (between Queen Street and Main Street)
    - Third Avenue will require upgrading to a roadway width of 7.5 m to 8.0 m, with a sidewalk on the southwest side of the roadway.



FIGURE 4: Summary of Road Network Improvements  
(Hamlet of Ardrossan Traffic Impact Analysis, 2014)



FIGURE 5: Future Trail and Sidewalk Configuration  
(Hamlet of Ardrossan Traffic Impact Analysis, 2014)

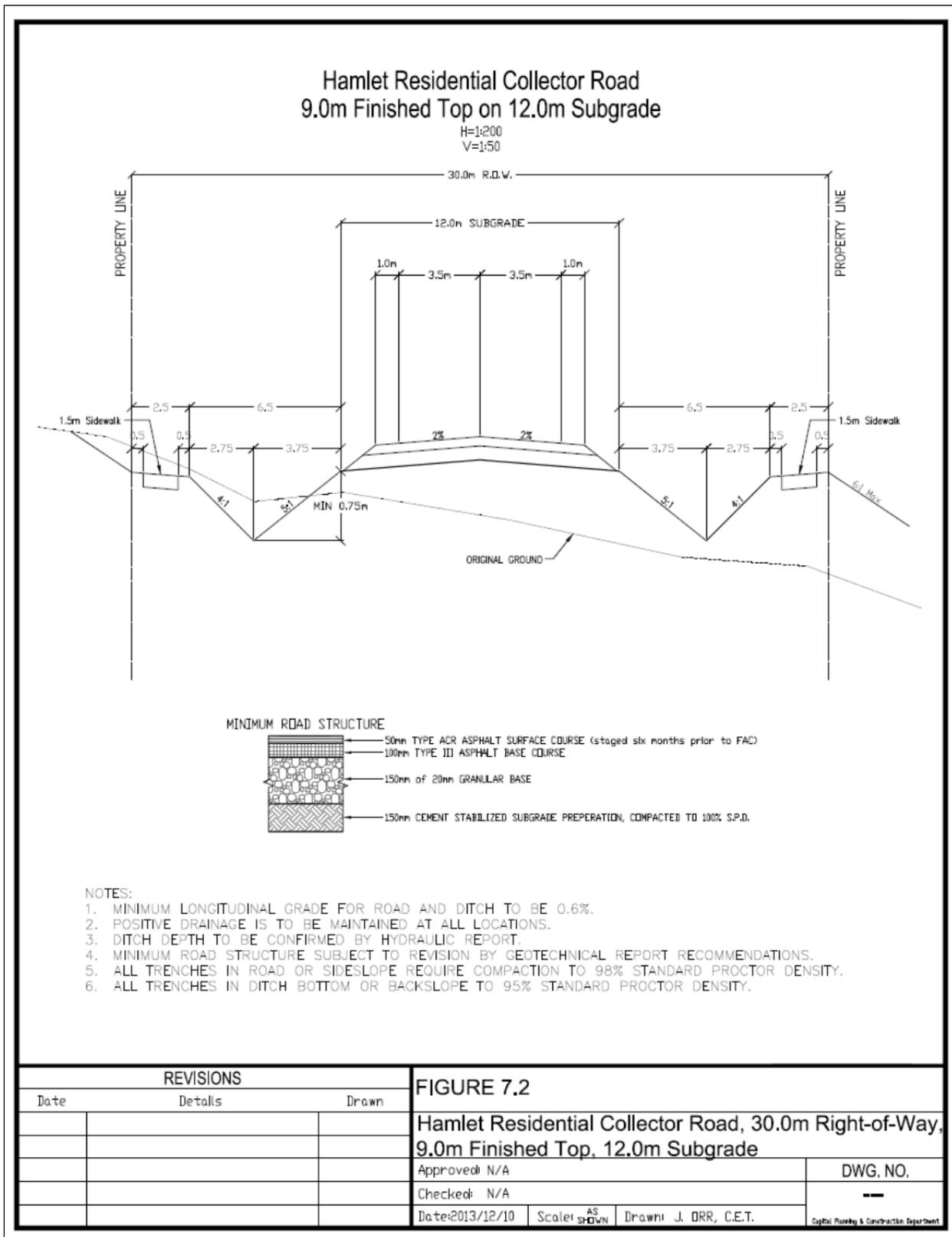


FIGURE 6: Recommended Collector Road Cross-Section  
(Hamlet of Ardrossan Traffic Impact Analysis, 2014)

#### 4.4. ENGINEERING DESIGN BRIEF

Strathcona County commissioned an Engineering Design Brief in 2013 to review and consider the infrastructure design requirements necessary for the continued water, wastewater, and stormwater servicing of Ardrossan. The scope of this project included:

- Confirm long-term water, wastewater, and storm drainage system requirements for Ardrossan for the existing, interim, and ultimate growth scenarios.
- Use the models for each system to conduct hydraulic analyses, complete level of service reviews, identify deficiencies, and recommend capital improvements for the existing systems.
- Develop optimum water distribution identifying required water main sizes and pump station/reservoir facility requirements.
- Develop optimum wastewater collection system identifying pipe sizes and pump station requirements.
- Develop optimum storm drainage servicing concept identifying required pipe sizes, stormwater storage facilities and outlets.
- Review available geotechnical information, and previously completed floodplain assessments.
- Obtain input and feedback on study findings from Planning & Development Services and Utilities departments.

The study also included a high-level analysis of the potential impact to servicing infrastructure from adding two additional quarter sections to the east into the hamlet (E½-2-22-53-W4). This was undertaken solely for considering ultimate upgrades to the servicing infrastructure, and an expansion of the hamlet is not being considered through the preparation of this ASP.

A geotechnical desktop study was completed by Stantec Consulting as part of this study. The scope of the desktop study investigation was to carry out a site reconnaissance, to review available geotechnical reports, historical aerial photographs and published geological information available in the vicinity of the study area. The desktop study identified a number of key issues:

- Presence of thick layer of topsoil.
- Presence of wet sands and silts which may contribute to trench stability issues.
- Presence of surficial medium to high plastic clay which are not recommended for shallow foundations.
- Shallow groundwater table.

Based on these findings, the desktop study concluded that the site is generally suitable for the proposed development. However, it is recommended that a detailed geotechnical investigation be completed for every subdivision to identify subsurface conditions.

Analyses of the existing water, wastewater, and stormwater systems were undertaken. The proposed configurations for the build-out of the hamlet in its present boundaries are shown within Figure 7 (water), Figure 8 (wastewater), and Figure 9 (stormwater).

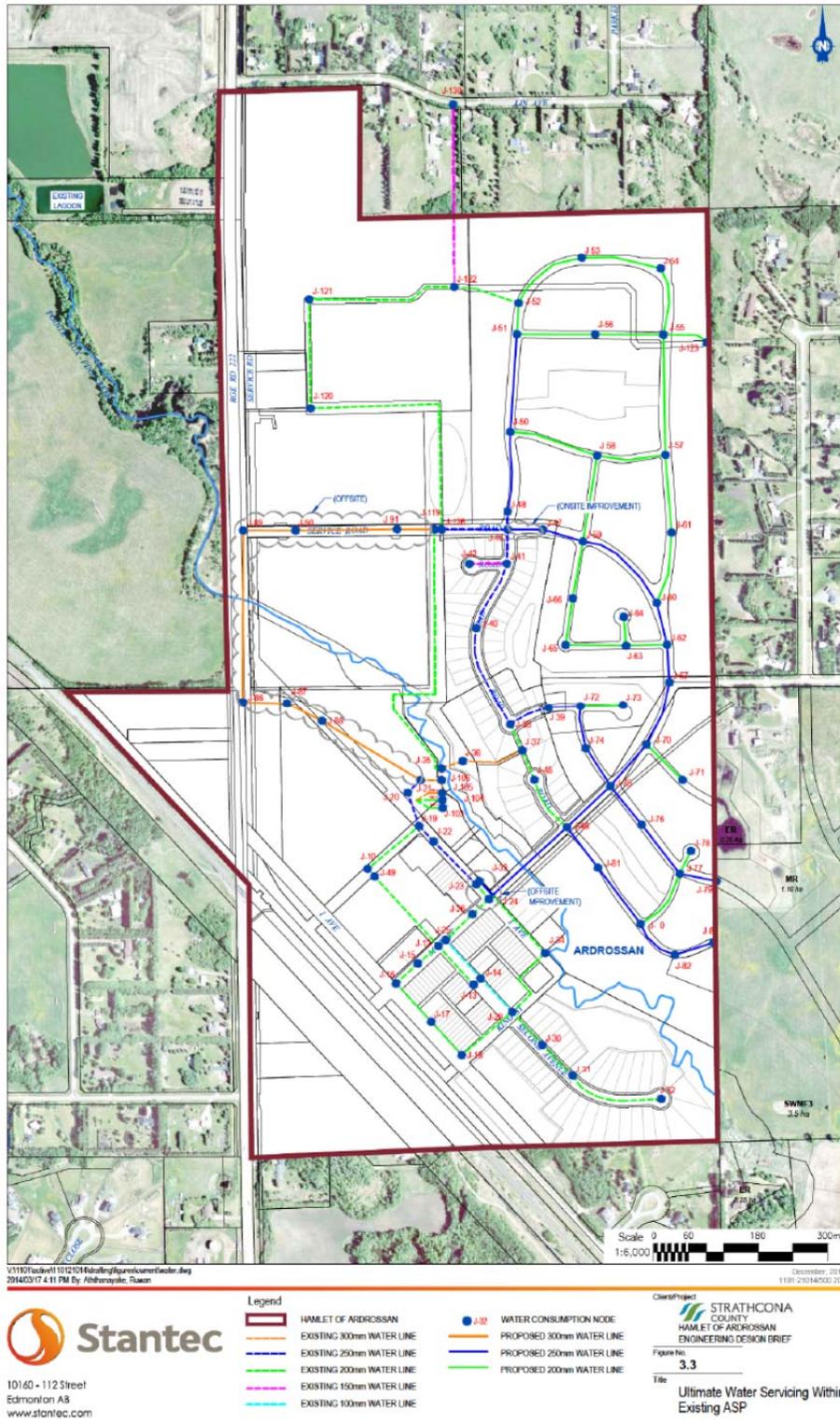


FIGURE 7: Ultimate Water Servicing Scheme  
(Hamlet of Ardrossan Engineering Design Brief, 2014)

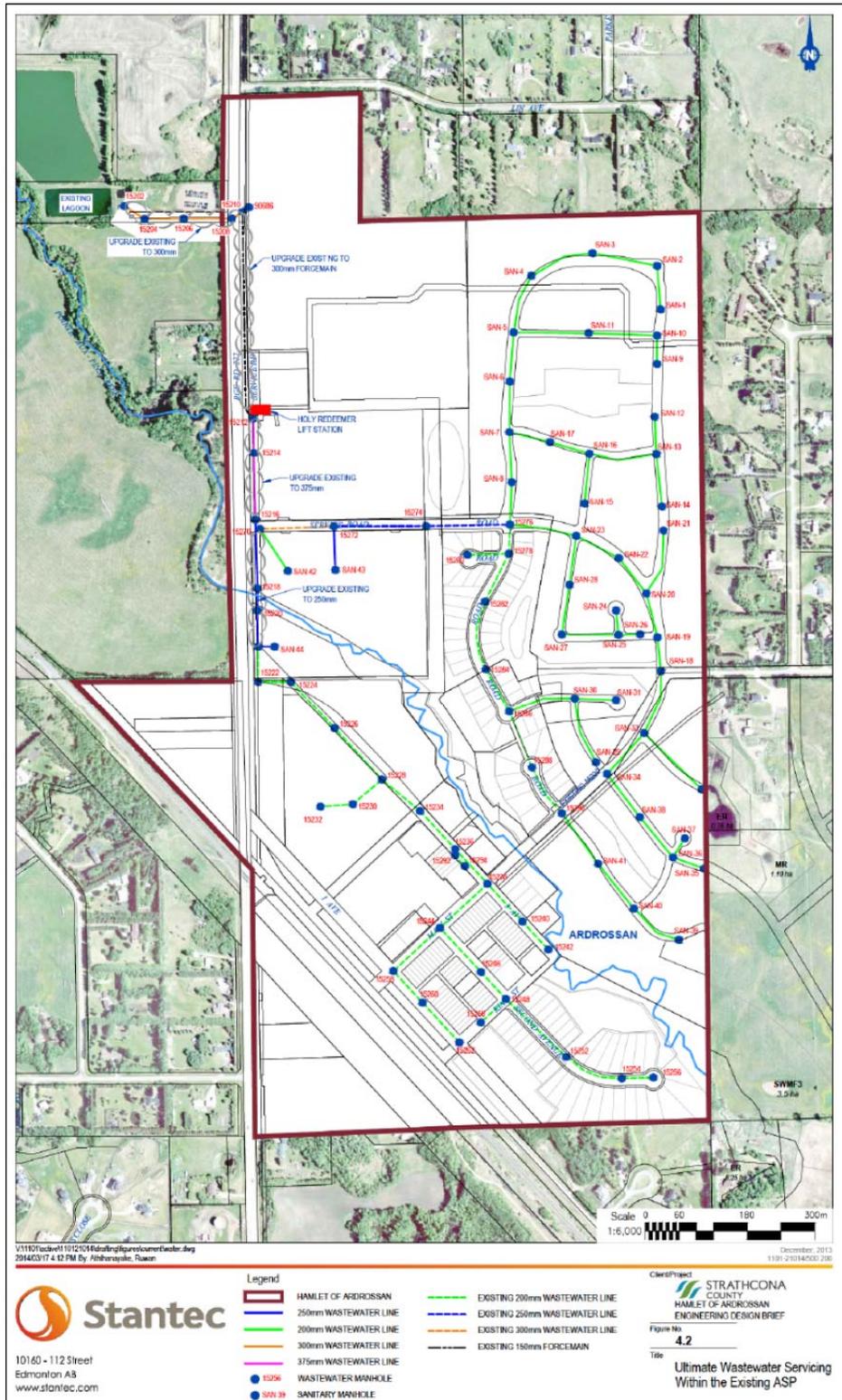


FIGURE 8: Ultimate Wastewater Servicing Scheme  
(Hamlet of Ardrossan Engineering Design Brief, 2014)

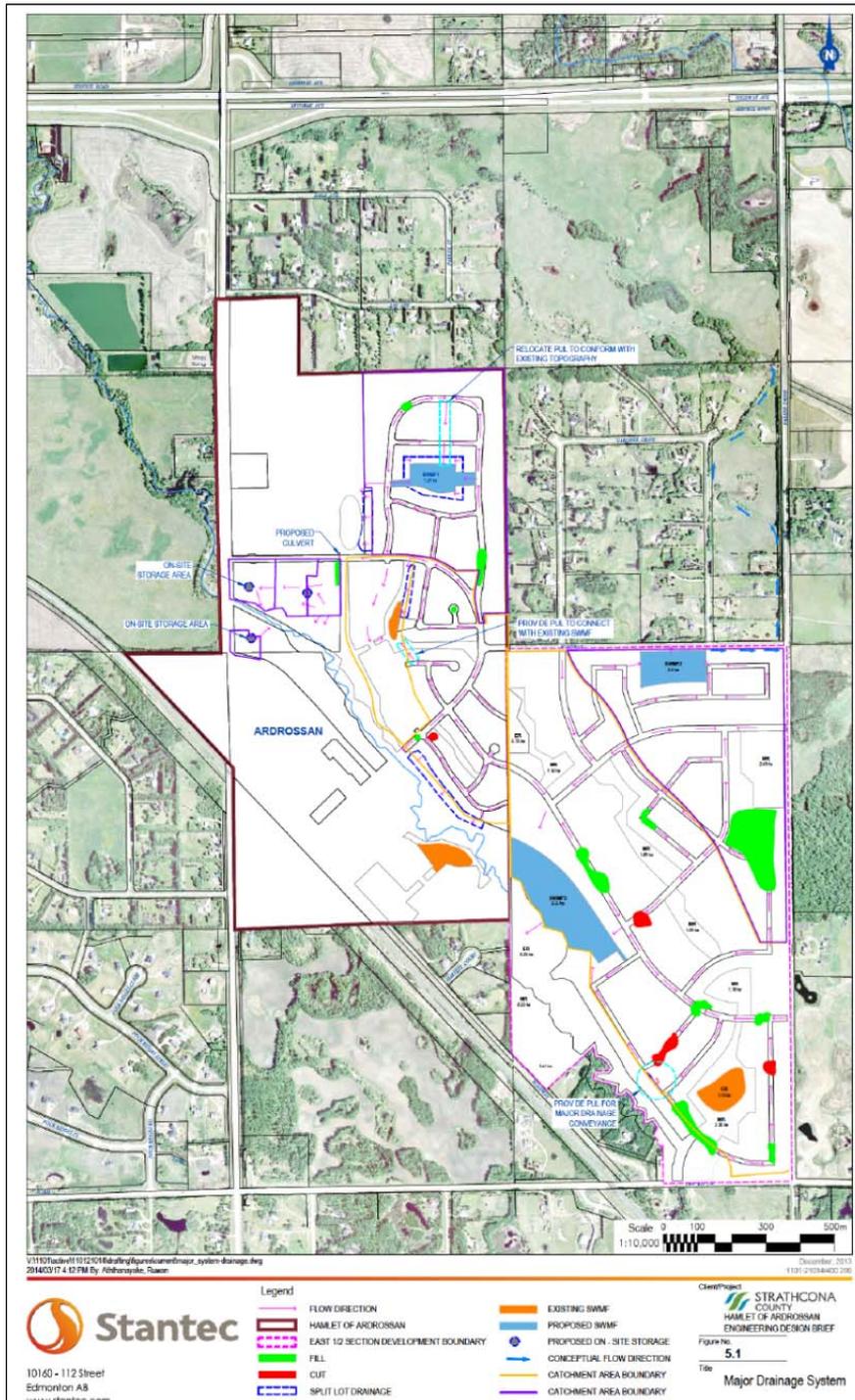


FIGURE 9: Ultimate Stormwater Servicing Scheme:  
Existing hamlet, plus quarter sections to the east  
(Hamlet of Ardrossan Engineering Design Brief, 2014)

NOTE: - An additional area outside of the hamlet boundary has been included for study purposes only and does not contemplate that any approval has been given to the expansion of the hamlet boundary.

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The Engineering Design Brief offered a number of conclusions and recommendations regarding servicing infrastructure for Ardrossan:

- Water Distribution System
  - Due to incomplete looping, the existing system cannot provide the required fire flow at all node locations within the Hamlet.
  - In order to improve the available fire flows for residential nodes, it is proposed that the existing mains be upgraded from 100 mm mains to 200 mm mains along Main Street and along 1st Avenue. In addition, the looping must be completed on King Street with a 200 mm diameter water main.
  - To provide 250 L/s fire flow of at the Recreation Complex, the post office, the senior center and the church, in addition to the above water main improvements, the existing main along 3rd Avenue needs to be upsized from a 200 mm to a 250 mm main. The fire pump also needs to be upgraded so that it is able to provide 280 L/s at 55 m of head.
  - To service the full development in the existing hamlet, the water reservoir will need to be expanded. The service pumps will also need to be upgraded to accommodate additional demands. The fire pump also needs to be upgraded so that it is able to provide 280 L/s at 55 m of head.
  - Preliminary assessments indicate the supply line to Ardrossan needs to be 300 mm inside diameter to service the build out of the existing hamlet. A more detailed assessment will be required to confirm pipe sizes during detail design.
  
- Wastewater Collection System
  - The current wastewater pumps do not have capacity to accommodate the full development of the hamlet of Ardrossan and will need to be upgraded.
  - To accommodate the additional flow, a number of improvements of the existing system will be required.
  
- Stormwater Drainage System
  - Outlet control structures are required at all proposed Storm Water Management Facilities to limit the release rate to the recommended maximum of 3.07 L/s/ha.
  - Low Impact Development features could be implemented throughout the proposed development; however, areas that will benefit the most from such features are the proposed commercial and multi-family residential developments located on both sides of the Pointe-aux-Pins Creek.
  - Due to the potential development encroaching on the Point-Aux-Pins Creek flood plain, it is recommended that a detailed flood hazard assessment be completed.

#### **4.5. STRATHCONA COUNTY TRANSIT MASTER PLAN**

The Strathcona County Transit Master Plan was commissioned by Strathcona County Transit and approved by Council in 2011. The goal of the Transit Master Plan was to identify a vision, in consultation with the public, which would guide the development of public transit both within the County and as a commuting option to the City of Edmonton.

The Master Plan acknowledged a lower demand for public transit service within the rural area of the county, but also recommended that the County consider providing pilot Park and Ride facilities where there is a minimum of 1,000 households within an approximately 10 minute drive to the facility. The rural Park and Ride could be provided using the existing parking facilities at churches or activity centres with limited peak-only intermunicipal service. The Master Plan concluded that the Ardrossan area would be a candidate for a pilot Park and Ride service.

## **SECTION 5: COMMUNITY GOALS AND ENGAGEMENT**

### **5.1. GUIDING PRINCIPLES**

The policies outlined in this plan reflect a wide range of land use, and social, community and environmental issues and opportunities. The following guiding principles were developed by Planning & Development Services and used to assist in the creation of this ASP:

- Maintain and enhance the rural character of Ardrossan.
- Enhance existing trails and open space structure.
- Develop a complete community (oriented towards young as well as seniors population).
- Encourage a walkable community with locally available services.
- Encourage a variety of housing types.
- Provide appropriate transition from surrounding Country Residential areas.

### **5.2. INTERDEPARTMENTAL INPUT**

An Interdepartmental Steering Committee comprised of representation from key internal County departments was also established in December 2011. The main objective of this committee was to review the community input and provide recommendations towards the creation of the proposed land use concept that satisfied aspirations for various stakeholders, and achieved the sustainability goals established in the Strathcona County MDP.

### **5.3. PUBLIC ENGAGEMENT**

The Area Structure Plan review process included a comprehensive public consultation process that allowed residents and stakeholders the opportunity to meet and discuss their values, as well as any potential issues with existing and future development in Ardrossan.

The public engagement review process began in 2011 and ran through 2012. Four public consultation sessions were held with the Ardrossan community. A summary of each public consultation is discussed within this section, and materials presented are contained within Appendix B.

#### Visioning Workshop (April 6, 2011)

On April 6, 2011, a community workshop was held to gather public input on the future of Ardrossan. The workshop started by brainstorming community values and followed by, creating a vision statement, identifying opportunities, and lastly, creating the ideal Ardrossan community. Approximately 52 people attended this evening workshop. Participants were divided into 7 groups and generated a draft visioning statement and made comments regarding the growth of the community on an air-photo of the hamlet. The 7 displays that were generated are shown within Appendix B.

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Based on the feedback received, the following vision statement was created:

***Ardrossan is and will continue to be a safe, vibrant, friendly and family-oriented community that supports growth while maintaining the rural lifestyle of the hamlet of Ardrossan.***

Rural Living Days (May 11, 2011)

Two land use concepts with ideas taken from the visioning workshop were displayed at the annual Rural Living Days event. The scenarios were displayed along with statements that represented Ardrossan and a questionnaire for the public to complete. The display materials, and a summary of the responses to the questionnaire may be found within Appendix B.

Open House No. 1 (June 25, 2012)

In late June 2012, three draft land use concepts were created from public feedback and were presented to the community. This open house provided residents and stakeholders the opportunity to comment on the three draft land use concepts along with a questionnaire. Residents were encouraged to identify elements of each plan that they agreed with, rather than choosing one of the three concepts as a whole. In addition, the three concepts were displayed at the ARC for an extended period of time in June 2012, and also posted on the Strathcona County website.

Open House No. 2 (September 13, 2012)

Resident feedback was reviewed and compiled during the summer of 2012 to help produce the preferred land use concept. The preferred land use concept was based on previous public input, County policies and municipal services. An open house was held to display and provide a brief overview of the preferred concept to the residents. The preferred concept was also posted to County webspace for public viewing.

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## SECTION 6: DEVELOPMENT CONCEPT

The Development Concept provides a long-term vision for the hamlet of Ardrossan and a general reference about what the community could achieve within a 10 to 15 year time frame. The development concept describes future character of the hamlet of Ardrossan with specific focus on the nature of land uses, built form, streetscapes and open spaces. The development concept should be referred to when implementing various policies of this Area Structure Plan and when reviewing subdivision and development applications.

In the context of the Ardrossan Area Structure Plan, the development concept has two functions:

First, it summarizes the vision established through stakeholder consultation, during the first stages of the Area Structure Plan development. This vision is demonstrated through the Transportation Network (Map 6) and Development Concept (Figure 11 and Map 7).

Second, it underpins the policies and methods of implementation of the Area Structure Plan in that the policies require development to be consistent with the development concept. It also sets specific expectations for the character of development on both public and private lands.

Table 3 provides a breakdown of the approximate area devoted to each land use activity while the Development Concept (Figure 11 and Map 7) illustrates the areas designed for specific land use and the location of major roadways.

Table 3: Land Use Statistics

|                                     | Area<br>(ha) | %<br>GDA     |              |                             |                   |
|-------------------------------------|--------------|--------------|--------------|-----------------------------|-------------------|
| <b>Total Gross Area</b>             | <b>145.1</b> |              |              |                             |                   |
| Environmental Reserve (total)       | 10.8         |              |              |                             |                   |
| <b>Gross Developable Area (GDA)</b> | <b>134.3</b> | <b>100.0</b> |              |                             |                   |
| Stormwater Facility                 | 3.8          | 2.8          |              |                             |                   |
| Municipal Reserve (total)           | 8.2          | 6.1          |              |                             |                   |
| Public Utility Lots                 | 2.5          | 1.8          |              |                             |                   |
| Roads (total)                       | 23.0         | 17.1         |              |                             |                   |
| Railway                             | 5.6          | 4.2          |              |                             |                   |
| <b>Net Developable Area</b>         | <b>91.2</b>  | <b>68.0</b>  |              |                             |                   |
| <b>Land Uses</b>                    |              |              | <b>Units</b> | <b>Density<br/>(upnrha)</b> | <b>Population</b> |
| Institutional                       | 31.3         | 23.4         |              |                             |                   |
| Commercial                          |              |              |              |                             |                   |
| • Hamlet Commercial                 | 1.0          | 0.1          |              |                             |                   |
| Residential                         |              |              |              |                             |                   |
| • Existing Country Residential      | 8.0          | 6.1          |              |                             |                   |
| • Existing Single Detached          | 13.5         | 10.1         | 176          |                             | 514               |
| • Estate Residential (0-25 upnrha)  | 18.7         | 14.1         | 102          | 5.5                         | 296               |
| • Low Density (0-25 upnrha)         | 8.8          | 6.6          | 105          | 11.9                        | 305               |
| • Multiple Unit (26-75 upnrha)      | 4.0          | 3.1          | 123          | 30.8                        | 271               |
| Mixed Use                           | 5.9          | 4.5          |              |                             |                   |
| • Commercial                        | 3.5          |              |              |                             |                   |
| • Residential (10-75 upnrha)        | 2.2          |              | 66           | 30                          | 146               |
| <b>Total</b>                        | <b>91.2</b>  | <b>68.0</b>  |              |                             | <b>1532</b>       |

## Notes for Table 3: Land Use Statistics

- The figures presented are approximate and subject to more detailed calculations at the time of subdivision.
- Low Density Residential development range in density from 12 units to 25 units per net hectare. This includes single detached dwellings.
- Multiple Unit Residential development includes multiple unit residential development that range in density from 15 units per net hectares to 75 units per net hectare, including semi-detached, duplex, townhouses, fourplex dwellings, and low rise apartment complexes.
- Existing Residential population count includes the two existing Country Residential areas.
- Figures may not add up due to rounding

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## 6.1. LAND USE DESIGNATIONS

The Development Concept identifies a number of urban land uses that are expected to develop within Ardrossan over the life of the ASP. This section will provide a discussion of how the designated areas are expected to develop. Plan direction and policies that relate to the Municipal Development Plan are listed within Section 7.

### Existing Residential

This area consists of residential development that exists at the time of adoption of the ASP. This includes the older single detached dwellings located south of Pointe-aux-Pins Creek, but also newer dwellings located to the north. The housing stock within this area is expected to be maintained as it currently exists.

Changes are not expected to be made to the streetscape within this designation; however, collector roads that are being rehabilitated are expected to be rebuilt with sidewalk facilities, in accordance with the recommendations of the TIA.

### New Low Density (Single-Detached) Residential/Estate Residential

Areas designated for new Single Detached Residential are located within the northeast and east central portion of the Hamlet. Development of these areas will proceed in phases, with Main Street expected to be rehabilitated and constructed to the roadway standard specified within Figure 6 of the ASP.

The area north of Main Street is proposed for larger lot single detached housing. This area is expected to provide a transition from existing lots in the Lyndale Park and Horton Place country residential subdivisions. In accordance with the Development Concept, those lots will be no greater than 0.5 ac in area. Interior lots within will be closer in size to urban lots, and will be no greater than 0.3 ac.

The areas proposed for new Low Density Residential are expected to be single detached housing, developed to a size that consistent with the R1-A land use district within the County's Land Use Bylaw.

All roadways to be developed within these areas shall be developed to the roadway cross-sections listed within the accompanying TIA, with the exception of the road that shall connect with the existing residential area that does not contain sidewalks.

It is expected that the unconstructed portion Main Street shall be completed with the subdivision of lots within these areas.

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### Multiple Unit Residential

An area to the east of Main Street, north of Pointe-aux-Pins Creek has been designated for multiple unit residential development. This area of the hamlet shall contain multiple unit dwelling types. Therefore, appropriate forms of housing for this designation would include street-oriented semi-detached dwellings, duplexes, townhouses, triplexes and fourplexes.

Roadways developed within this area shall be in accordance with the local road standard cross-section listed within the TIA. It is also expected that connecting links will be established to the open space network to be developed along Pointe-aux-Pins Creek.

### Mixed Use Area

The Mixed Use Area is located at the intersection of Main Street and Highway 824 which is a gateway into the hamlet. The area is expected to consist of commercial and residential uses, which were also identified for the site within the previous Area Structure Plan. Including this area as one land use designation will allow for the ability of the site to be developed comprehensively, with a combination of commercial and residential uses.

Access points into this area will be in accordance with the recommendations of the accompanying TIA.

With development adjacent to the creek, it is expected that a development proposal will have to be accompanied by more detailed engineering and biophysical studies for review by County Staff.

The 2012 Preferred Development Concept showed a potential build-out on the site of 58,000 sq .ft. of commercial development (48,000 to be accessed from Main Street; 10,000 to be accessed from Third Avenue), along with 120 units of multi-family residential, to be built along the creek.

As part of the development of the ASP, a separate study to assess the commercial market was not undertaken. The continued development of larger format commercial development within the northeast area of Sherwood Park is expected to have an impact upon new commercial development in Ardrossan.

Commercial uses are expected to be of a scale that would serve the community and adjacent country residential areas. In evaluating concerns that have been expressed by adjacent residents, it would be more appropriate to recommend that the commercial component of the site be reduced in gross floor area, and be oriented to the street, with residential uses acting as a transition to the existing residences to the east.

With the above recommended change from the Preferred Development Concept, a development at smaller scale could be developed that wouldn't exceed a total of

35,000 sq. ft. (28,000 sq. ft. to be accessed from Main Street, 7000 sq. ft. from Third Avenue).

Any proposal to increase the size of the commercial development above 35,000 sq. ft. would first require an amendment to this ASP, along with other required planning approvals.

Residential uses are expected to develop with similar forms to the Multiple Unit Residential area, with semi-detached dwellings, duplexes, townhouses, triplexes and fourplexes expected to be developed. This would provide the opportunity for an additional mix of housing to be built into the community but at a more appropriate scale to the existing single detached housing to the east.

Map 5 (Transportation Network) of the ASP also contemplates the dedication of lands from trails that both connect to existing infrastructure, and a new trail running north-south, outside of the Highway 824 right-of-way. More detailed plans shall be considered at the time of subdivision or development.

In summary, development within the Mixed Use Area shall be consistent with the following principles:

- Commercial development to be accessed from Main Street shall not exceed 28,000 sq. ft. gross floor area, except by amendment to this ASP.
- Larger footprint commercial development should be oriented to the corner of Main Street and Highway 824.
- Commercial development to be accessed from Third Avenue shall not exceed 7000 sq. ft. gross floor area, except by amendment to this ASP.
- Potential driveway accesses from Main Street and Third Avenue shall be setback at least 75.0m from the centreline of Highway 824 (as recommended from the Traffic Impact Assessment).
- Access from Highway 824 shall not be permitted, and the existing driveway entrance shall be removed at the time of development.
- The residential component should act as a buffer between commercial uses and the existing dwellings on Creekside Place.

### Hamlet Institutional

Lands within the Hamlet Institutional designation are located within the northwest and central portions of the community.

The north portion of Ardrossan contains the existing schools and play fields. Future development within this area is expected to include upgrading of sportsfields and trail development, in accordance with the ACRMP. In accordance with the TIA, changes to the existing accesses to the schools may also occur through the life of this ASP.

The institutional lands within the central portion of Ardrossan contain a number of community services, including the ARC, the recycling drop-off, a place of worship,

community hall, firehall, senior's drop-in-centre, and the post office. There is also utility infrastructure, consisting of the water reservoir and pumphouse.

Several improvements to the public realm and transportation network are expected for this area, which are discussed within Sections 6.2 and 6.3

#### Hamlet Transition/Existing Country Residential Areas

The CN rail tracks and Highway 824 bisect the Hamlet Transition Area into two triangular land parcels, separating this area from the majority of the hamlet. The area contains existing acreage-style housing, as well as a veterinary clinic. The area was designated Country Residential, both in the 1997 ASP and in the 2012 Preferred Land Use Concept.

As discussed within the TIA, redevelopment above existing country residential-type densities will likely require the consolidation of access points to Highway 824. The TIA has identified the intersection of Third Avenue and Highway 824 as a potential future access point into the northwestern triangle, and any future proposals for these lands may have to account for this revised access. All proposals that impact upon Highway 824 will be subject to final approval from Alberta Transportation.

In addition to the above considerations, a redevelopment proposal may require an amendment to this Plan, as well as an amendment to the Land Use Bylaw. Depending on the nature of a development proposal, an additional setback from the CNR railway tracks may also be required.

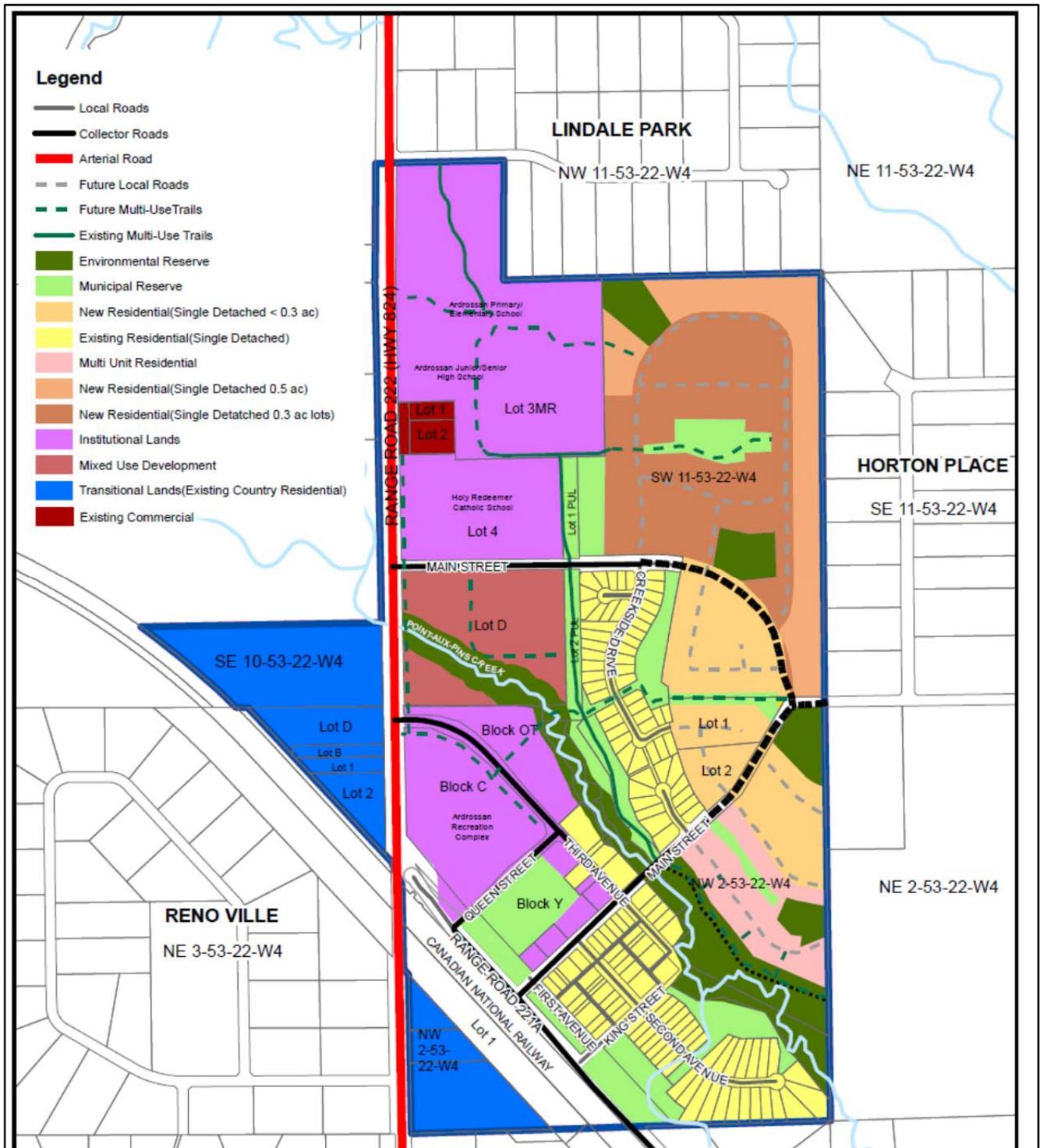


FIGURE 10: Proposed Development Concept

## 6.2. DEVELOPMENT OF THE PUBLIC REALM

The public realm within the hamlet of Ardrossan shall be developed in accordance with the provisions of this section and the Transportation Network (Map 5).

### Trail Network

One of the principles of this ASP is “to create a walkable community that connects to locally available services.” A variety of walking trails will continue to be developed within the hamlet to draw pedestrian traffic off the highway and roads, and to provide safe and accessible connections between residents of both existing and future residential areas and the community amenities.

The trail network shall be oriented and functionally designed to encourage residents to embrace walking for local day-to-day needs. It is also important to ensure that older adults will be able to access and utilize existing and new trail systems. Benches and receptacles will be strategically placed along trails to provide places to rest and dispose of litter. The trail network could also provide future connections to the northwest outside of Ardrossan, along Pointe-aux-Pins Creek.

### Internal Road Network

To ensure better pedestrian connectivity, new and rehabilitated roadways within Ardrossan are to be designed with sidewalks on both sides of the street. This will include the eventual reconstruction of Main Street, between the creek and Range Road 221A, as well as Third Avenue, between Main Street and Queen Street.

Main Street is currently an incomplete road existing in two separate north and south parts. The Plan proposes to connect the north and south part of Main Street to provide for a safe and efficient movement of traffic within the community.

### Public Plaza

To accommodate opportunities for social interaction in the community, a public gathering place is proposed for the community greenspace within the Core Area (as described within the Ardrossan Community Recreation Master Plan). The continued development of this space will provide a stage for a variety of outdoor activities for year-round public gatherings, special events, as well as create a unique sense of place. The benefit of having large space such as the public plaza is that it would allow for flexible recreational use as well as an area to set up tents and staging areas to accommodate events. Amenities and street furniture within this plaza would be encouraged to be designed to maximize year-round functionality.

### Architectural and Building Orientation/Urban Design

The design of new commercial and multiple unit buildings in the Mixed Use and Multiple Unit development areas should be oriented to the street, allow for outdoor amenity areas, and of a scale that would promote pedestrian interaction.

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### 6.3. TRANSPORTATION NETWORK CONCEPT

The future transportation network shall be developed in accordance with the Transportation Network Plan (Map 5), and the accompanying Transportation Impact Assessment. As discussed within the Transportation Impact Assessment, the roads within Ardrossan are classified according to the following hierarchy:

#### Arterial Roads

Highway 824 is classified as an arterial road for the hamlet of Ardrossan connecting to other developments outside of the Plan Area.

#### Collector Roads

Main Street, Queen Street, Range Road 221A, and Third Avenue (between Highway 824 and Main Street) will continue to act as collector roads providing access to various local roads within Ardrossan.

#### Local Roads

All remaining streets within the hamlet of Ardrossan shall continue to provide access to individual properties. No major changes are anticipated to the road network in the established portions of the hamlet of Ardrossan.

#### Transit

In accordance with the Strathcona County Transit Master Plan, there are no future plans to extend public transit to Ardrossan. The Master Plan, however, did identify the possibility of introducing a Park and Ride pilot project for the community. As the Master Plan identified community or religious facilities as possible locations for the pilot project, the most likely candidate site for this would be at the ARC.

Further community consultation with Strathcona County Transit and other County departments would be required to implement this recommendation.

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## SECTION 7: POLICY FRAMEWORK

### 7.1. SUSTAINABILITY AND GROWTH MANAGEMENT

As the County continues to grow, comprehensive neighbourhood development becomes the key step towards achieving a sustainable Strathcona County. The hamlet of Ardrossan has been identified in the Municipal Development Plan as a minor growth community that will continue to provide limited population growth, employment, services and housing. To achieve a sustainable community, Strathcona County has adopted a process defined by four science-based sustainability principles adapted from the Natural Step Framework as outlined in the MDP.

Twelve themes have been established to evaluate how development has been guided toward sustainable manner – Carbon, Transport, Land Use, Materials, Waste, Economy, Water, Food, Natural Habitat, Well-Being, Equity and, Culture. These twelve themes have been established to guide development and operation in the Hamlet of Ardrossan towards a more sustainable form. The twelve themes will be further addressed in each subsection of the Plan Direction.

**Carbon:** Ardrossan will reduce dependence upon fossil fuel by encouraging alternative modes of transportation such as walking and cycling for travel within the hamlet.

**Transport:** A transportation network that supports multiple mobility choices such as walking, cycling and vehicle use is proposed for the plan area.

**Land Use:** Mixed use development, higher density and variety of land uses has been proposed within the plan area to achieve an efficient and effective development concept.

**Materials:** The Plan supports low impact development techniques for storm water management.

**Waste:** The recycling center is located within the plan area to encourage waste reduction, reuse and recycling.

**Economy:** The Plan supports appropriate home businesses and local businesses that will provide day-to-day services to the hamlet and County residents.

**Water:** The Plan protects the quality and quantity of Pointe-aux-Pins Creek through appropriate buffers and setbacks and effective stormwater management and treatment.

**Food:** The Plan encourages local food production through farmer market initiatives and appropriately scaled retail uses that will cater to local residents.

**Natural Habitat:** The Plan continues to support a range of habitats and diversity of wildlife species through use of reserves while ensuring appropriate public access to open space is available.

**Well-Being:** The Plan promotes inter-generational interaction and cohesion by providing gathering places such as public plaza, event halls, open spaces, and commercial buildings.

**Equity:** Ardrossan will be a complete community that provides a variety of land uses and a diversity of housing types for all ages and income levels.

**Culture:** Ardrossan will continue to host cultural events at both the Ardrossan Recreation Complex and the Memorial Hall.

Under the direction of this Area Structure Plan, Ardrossan will become a complete community that provides:

- a variety of land uses;
- pedestrian and vehicular connectivity;
- support for cultural and social events; and
- natural habitat conservation.

### **Municipal Development Plan - Direction:**

Objective 6: *Direct urban growth to Sherwood Park and to a lesser extent, the hamlets of Ardrossan, Josephburg, and South Cooking Lake as identified within the Area Structure Plans;*

Objective 7: *Make efficient use of the limited urban land bases in Sherwood Park, Ardrossan, Josephburg, and South Cooking Lake;*

Policy 4.12: *Review and update the existing Area Structure Plans for Ardrossan, Josephburg, and South Cooking Lake to encourage the existing urban areas to become more complete communities with unique, vibrant, mixed use neighbourhoods;*

### **Area Structure Plan - Objectives:**

To ensure that future development in the hamlet of Ardrossan:

- a. Meets Strathcona County's sustainability mandate
- b. Meets the growth principles set in the Capital Region Growth Plan
- c. Reduces the local population's dependency on services of larger urban centres
- d. Strives towards a reduced dependency on private vehicles
- e. Explores opportunities to implement community energy initiatives

**Area Structure Plan - Policies:**

Strathcona County shall:

- 7.1.1 Ensure land use within the Plan Area will generally be applied in accordance with Map 6: Development Concept.
- 7.1.2 Encourage the development of supportive housing forms such as senior housing in the multiple unit or mixed use residential areas.
- 7.1.3 Encourage walkability within the hamlet of Ardrossan through continued additions to the land use and open space network planning as outlined in the ASP.
- 7.1.4 Encourage the provision of day-to-day services within the hamlet of Ardrossan in order to reduce the dependency on larger urban centres for services.
- 7.1.5 Encourage the development of a range of housing options to meet the economic and lifestyle needs of residents.

**7.2. RESIDENTIAL**

Residential development in Strathcona County has occurred in several different areas and in many different forms throughout Sherwood Park, the rural hamlets and the remaining rural areas. In the hamlet of Ardrossan, the only housing form currently developed is single-detached dwellings. The lack of diversity in housing form was identified as an issue by local residents during the public consultation process, who expressed the need to provide alternative housing options, specifically for seniors.

The demand for alternative housing form in Ardrossan is high and will likely remain so for the future. Presently, there is no alternative accommodation for seniors within Ardrossan or the surrounding rural community when their needs change. At present, this would leave them with little alternatives, but to move into larger urban centres such as Sherwood Park and Edmonton.

**Municipal Development Plan - Direction:**

*Policy 5.59: Strathcona County will allow further infill and expansion within hamlets that have adequate sanitary sewer and water service capacity, as well as community facilities to support additional population growth in accordance with an approved Area Structure Plan.*

*Policy 5.60: Support the inclusion of a wider range of housing options within the hamlets of Josephburg, Ardrossan and South Cooking Lake, to meet lifecycle shelter requirements, lifestyle, social needs and income levels.*

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**Area Structure Plan - Objectives:**

Residential development within the hamlet of Ardrossan will ensure that:

- a. Future development is compatible with the character of existing areas;
- b. Existing buildings maintain their character and are enhanced to improve overall hamlet character;
- c. Higher standards of developer-initiated architectural controls will guide future development; and
- d. Multiple dwelling options are provided in new developments (in accordance with the proposed Land Use Concept).

**Area Structure Plan - Policies:**

Strathcona County shall:

- 7.2.1 require new residential subdivisions to conserve existing treed and environmentally significant areas, in accordance with provincial legislation and County policy.
- 7.2.2 require residential development within the Plan Area to achieve an overall density between 12-15 dwelling units per net residential hectare.
- 7.2.3 require the development of a range of housing options to meet the economic and lifestyle of needs of residents.
- 7.2.4 ensure that lots within the hamlet directly abutting existing country residential subdivisions outside of the hamlet are between 0.3 and 0.5 acres in area.
- 7.2.5 encourage a mix of housing types within the Multiple Unit Residential area including semi-detached, duplexes, townhouses, and triplexes and fourplexes.
- 7.2.6 facilitate the development of appropriate home businesses as a secondary use, subject to the provisions of the Land Use Bylaw.
- 7.2.7 encourage adult-oriented housing within the Multiple Unit Residential and Mixed Use areas as outlined in the Development Concept.

**7.3. COMMERCIAL**

Sherwood Park is the main service centre for Strathcona County. Currently, most residents travel to Sherwood Park to meet the majority of their commercial service needs. The County MDP envisions future development within the hamlets Ardrossan, South Cooking Lake and Josephburg that will eventually provide more commercial services to meet the primary needs of the residents in and around the hamlets.

For Ardrossan to become a more complete community with more employment and service opportunities, the development of more non-residential commercial land to expand the range of commercial choices will be required. Ardrossan will have small-

scale, accessible, commercial uses which are expected to develop as population increases within the hamlet.

### **Municipal Development Plan - Directions:**

*Policy 6.38: Strathcona County will encourage hamlet commercial developments to incorporate the principles of urban villages into their design and function where feasible.*

*Policy 6.39: Strathcona County will encourage the development of a range of commercial uses which serve the day-to-day needs of the community.*

*Policy 6.40: Strathcona County will ensure hamlet commercial uses are developed at a scale appropriate to the community.*

*Policy 6.41: Strathcona County will encourage commercial developments to build on the uniqueness and character of the community.*

*Policy 6.42: Strathcona County will encourage hamlet commercial uses to take advantage of both highway and local traffic to benefit from a potentially larger market.*

### **Area Structure Plan - Objectives:**

Strathcona County's objectives for future commercial development in the hamlet of Ardrossan are to:

- a. Attract businesses to the future mixed-use commercial area
- b. Create a sense of place that depicts a unique character in a rural area
- c. Provide opportunities for local employment
- d. Encourage a walkable community
- e. Encourage small scale commercial developments that complement the rural character of the area.

### **Area Structure Plan – Policies:**

Strathcona County shall:

- 7.3.1 Allow for appropriate home businesses as regulated in the Strathcona County Land Use Bylaw.
- 7.3.2 Require new commercial development within the mixed-use commercial area to conform to the following policies:
  - a. Commercial development to be accessed from Main Street shall not exceed a total gross floor area of 28,000 sq. ft., except by amendment to this ASP.
  - b. Commercial development to be accessed from Third Avenue shall not exceed a total gross floor area of 7000 sq. ft., except by amendment to this ASP.
  - c. Larger footprint commercial development should be oriented to the corner of Main Street and Highway 824.

- d. Commercial development shall be of a design sympathetic to that of a rural community.
- e. A proposal for subdivision or land use bylaw amendment shall include information to the satisfaction of the County regarding mitigation of potential noise, odour, light, or vibration.

#### **7.4. ENVIRONMENTAL MANAGEMENT**

Strathcona County commissioned an Assessment of Environmental Sensitivity and Sustainability as part of the development of the Municipal Development Plan. The Priority Environment Management Areas identifies the hamlet of Ardrossan to have areas of High Sensitivity. The areas of High Sensitivity correspond to Point-Aux-Pins Creek. The ecological significance of Point-Aux-Pins Creek within the hamlet of Ardrossan is a key component for local drainage and wildlife movement.

Slope instabilities may occur as a result of development occurring close to the creek. Certain areas may have limitations for development and require a more detailed investigation during subsequent planning stages. These would include the Point-Aux-Pins Creek bank areas which may be sensitive to stability and erosion due to soil conditions and high groundwater table along the creek, and localized depressional areas which are deposits of organic soils and poor drainage.

Strathcona County is the first community in Alberta to endorse a Light Efficient Community policy. Light efficient communities protect and preserve unique areas in and around the County to help dark skies return to their natural heritage. Reducing night light spill into the sky improves our night-time environment and quality of life and, reduces energy costs and waste for the residents and the community.

#### **Municipal Development Plan - Directions:**

*Policy 8.6: Ensure no development is allowed on hazard lands except for extensive agricultural uses, passive recreation uses, or interim resource extraction, approved on a site-by-site basis.*

*Policy 8.7: Ensure that areas prone to flooding, shoreline erosion or slope instability hazards are limited in the types of land uses and developments that may be allowed. Uses and developments must be consistent with the nature of the hazard and not cause an increase in the degree of hazard.*

*Policy 8.8: Ensure that no permanent structures are allowed within the 1:100 year flood plain of Strathcona County's rivers, streams, lakes and natural watercourses. Consideration may be given to non-residential developments, such as boat houses proposed in the 1:100 year flood plain, subject to appropriate flood proofing and the proponent demonstrating to the municipality's satisfaction, the precise boundary of the flood plain.*

Policy 8.9: *Require the proponent of a development on hazard lands to provide a geotechnical assessment conducted by a professional engineer for proposed development on slopes; and demonstrate to the municipality's satisfaction that flood hazard areas are defined; safe building elevations are identified; and the potential for flood damage or erosion to existing or new developments is mitigated or eliminated.*

Policy 8.24: *Ensure lands classified as Environmental Reserve as defined by the Municipal Government Act are identified and protected as such.*

Policy 8.25 c): *All other lakes, waterbodies and watercourses, a minimum 30.0m buffer from the top of bank must be maintained. No buildings or structures will be allowed within the minimum setback requirement, except under unique and appropriate circumstances as determined by the Approving Authority.*

### **Area Structure Plan - Objectives:**

Strathcona County's objectives for future environmental management of lands within the hamlet of Ardrossan are to:

- a. Design and locate new developments to avoid the potential for negative effects on the environment by:
  - i) conserving wildlife habitats and movement corridors
  - ii) reducing light trespass
- b. Respect the environmentally sensitive lands along the Pointe-aux-Pins Creek.
- c. Avoid development on hazard lands or ensure that development near hazard lands can be proven safe to the County's satisfaction.

### **Area Structure Plan – Policies:**

Strathcona County shall:

- 7.4.1 Require the designation of Environmental Reserve areas to protect all environmentally significant features that meet the criteria listed within the *Municipal Government Act*.
- 7.4.2 Require that lands within the 30 m buffer setback from Pointe-aux-Pins Creek be dedicated as Environmental or Municipal Reserve at the time of a subdivision application. No buildings or structures will be allowed within a minimum of 30.0m from the top of bank, except in accordance with the provisions of the Land Use Bylaw.
- 7.4.3 Require that permanent structures shall not be allowed within the 1:100 year flood plain. Consideration may be given to non-residential development, subject to appropriate flood proofing and the proponent demonstrating the precise boundary of the floodplain to the County's satisfaction.

- 7.4.4 Require development near hazard lands shall require a geotechnical assessment conducted by a professional engineer, at the time of subdivision and/or development permit application.
- 7.4.5 Require at the time of subdivision, a Biophysical Assessment accurately delineate Environmental Reserve boundaries in accordance with County policy. The Biophysical Assessment shall be conducted by qualified professionals to determine top of bank and other criteria deemed necessary by Strathcona County.
- 7.4.6 Require internal roads and parcel accesses to avoid crossing wetlands or watercourses, wherever possible. Should a crossing be required, it shall be to the satisfaction of Alberta Environment and Strathcona County.
- 7.4.7 Require new development within the hamlet of Ardrossan to minimize night light spill into the sky in accordance with SER-009-038, the Light Efficient Community Policy, Strathcona County's Dark Sky and Energy Efficient Lighting Handbook, and as indicated in the regulations of the County's Land Use Bylaw.

## 7.5. PARKS AND RECREATION

Strathcona County offers a wide variety of recreation opportunities, which contribute to the well-being of citizens. The recreational facilities and natural amenities in the plan area exceed those of many other similar sized hamlets in the County.

The recreational open space system within the plan area is comprised of both structured play fields and natural open space represented by the Pointe-aux-Pins Creek, utility rights-of-way and storm water management facilities. The open space system occupies a vital position in the design and development of the plan area and enhances the overall recreational, educational and cultural experiences within the community.

### **Municipal Development Plan - Directions:**

*Policy 9.17: Ensure recreational opportunities are available to residents in the Rural Service Area.*

*Policy 9.19: Ensure that recreational facilities, developed in the rural area, complement the surrounding landscape.*

### **Area Structure Plan - Objectives:**

Ardrossan will provide public open space areas within the hamlet that:

- a. Meet the recreational and leisure needs of the residents of Ardrossan and the surrounding community;
- b. Protect and conserves natural areas, and

c. Accommodate public utility lots for servicing requirements.

### **Area Structure Plan – Policies:**

Strathcona County shall:

- 7.5.1 Develop parks and open space areas in accordance with the Proposed Land Use Concept and the Ardrossan Community Recreation Master Plan.
- 7.5.2 Encourage land utilised for the provision of surface, underground or overhead servicing infrastructure to contain pathways that extend or connect the existing open space pathway network.
- 7.5.3 Develop recreation infrastructure in accordance with the Ardrossan Community Recreation Master Plan.
- 7.5.4 Promote use of County owned land for attracting multi-purpose institutional uses that may offer year round recreational opportunities.
- 7.5.5 Require that a portion of Municipal Reserve land in the Hamlet Residential Areas is dedicated for creation of neighbourhood parks, approximately 1 to 2 hectares in area each.
- 7.5.6 Require that Municipal Reserve be dedicated in accordance with the Municipal Government Act and County Policy, including areas necessary to improve connectivity between Environmental Reserve lands and provide additional community open spaces at the neighbourhood level.

## **7.6. SAFETY**

It is important to provide residents in Ardrossan with a safe environment in which to live, work and play. There is a need to ensure emergency and protective services are available in the hamlet. The south portion of Ardrossan is in the “Very High Risk” Fire Risk Model.

There are a number of lands within the hamlet that are within the flood plain of Pointe-aux-Pins Creek. In order to minimize potential loss of life and damage to property, the County shall direct development away from natural hazards.

### **Municipal Development Plan - Directions:**

- Policy 10.1: Encourage collaboration between municipalities, neighbourhoods, local groups and citizens in providing safer communities by:*
- a) encouraging the development and design of community based initiatives to prevent crime and devise strategies to address the root causes, and*

b) *encourage a safe and secure environment through physical design, by supporting Crime Prevention Through Environmental Design principles, where possible in site development.*

Policy 10.7: *Ensure emergency and protective services will provide new and existing development with appropriate levels of fire protection, ambulance services, and police protection.*

Policy 10.9: *Ensure that roadways and subdivisions are designed to accommodate ground access and air access emergency vehicles.*

Policy 10.11: *Review, with the RCMP, opportunities to expand or enhance police presence in the rural areas.*

Policy 10.18: *Consider the risk of, or potential for, wildfire prior to decisions being made regarding land use allocation, subdivision or development.*

### **Area Structure Plan – Policies:**

Strathcona County shall:

- 7.6.1 Encourage municipally assigned civic addresses, streets, roads and subdivisions to be marked with highly visible, non-combustible signs that aid protective and emergency services in locating properties. All civic addresses shall conform to Strathcona County's Addressing Bylaw.
- 7.6.2 Integrate, as part of a neighbourhood subdivision design, trail linkages with streets, where possible for emergency access and egress.
- 7.6.3 Discourage the subdivision of lands the potential for wildfire to be high, until such time as the wildfire risk has been reduced to a level that is acceptable to the County and consistent with the County's FireSmart Guidelines, outlined in Appendix E.
- 7.6.4 Discourage the subdivision of lands in areas where the County determines the potential for flooding to be high, until such time as the flood risk has been reduced in a manner and to a level that is acceptable to the County.
- 7.6.5 Consult with Emergency Services and the RCMP to determine when population increases may require additional facilities within Ardrossan.

### **7.7. INSTITUTIONAL AND COMMUNITY FACILITIES**

Ardrossan offers a wide range of public services with numerous institutional facilities. These facilities include schools, religious buildings, government offices and community halls. Many of these facilities play important roles in the daily lives of residents in the hamlet and help shape their social and physical environments.

The Ardrossan separate and public schools house a significant student population. At present the Ardrossan schools serve a 118 square kilometer catchment area comprising lands located both north and south of Highway 16 and generally east of Highway 21.

**Municipal Development Plan - Directions:**

*Policy 11.5 d): Encourage institutional developments in the Rural Service Area to locate within hamlets or in areas of concentrated residential development.*

*Policy 11.9: Regularly review with Elk Island Public Schools and Elk Island Catholic Schools future school projections, school site needs, as well as any opportunities to establish joint use facilities, such as theatres, swimming pools and playing fields, based on community needs and population growth.*

*Policy 11.10: Encourage the Elk Island Public Schools and Elk Island Catholic Schools to collaborate to develop joint use facilities.*

*Policy 11.15: Strive to ensure the safety of children in relation to the road network, by considering children's needs when making decisions regarding the prioritization of sidewalk construction, crosswalk provisions and school drop-off zones.*

*Policy 11.16: Require all school sites to have adequate access, parking and drop-off facilities in accordance with the Land Use Bylaw and to the satisfaction of Strathcona County.*

*Policy 11.17: Encourage the development of private or satellite schools, in conjunction with other complementary or mixed use development provided that:*

- i. parking and loading requirements are met;*
- ii. the scale and nature of the use is consistent with the existing, adjacent land uses;*
- iii. traffic generation is compatible with other land uses in the area*

**Area Structure Plan - Objectives:**

Ardrossan will encourage:

- a. The continued development of institutional and community facilities that are compatible with existing land uses.

**Area Structure Plan – Policies:**

Strathcona County shall:

- 7.7.1 Pursue opportunities for the shared (joint) use of sites and/or multiple use facilities, such as fire, emergency services, health care, police, schools, recreational facilities and libraries.

## 7.8. SOCIAL DEVELOPMENT

Social development improves the quality of life and establishes a sense of community. Residents of Ardrossan have expressed the desire to create a safe, vibrant, friendly and family-oriented hamlet that will convey a sense of place.

The recreation center, senior drop-in center, and memorial hall in Ardrossan are examples of community facilities that provide for social interaction. Community facilities can be utilized to provide for unique character for the hamlet. The hamlet of Ardrossan provides a balance and diverse range of opportunities such as social, conservation, health and recreational.

### **Municipal Development Plan - Direction:**

*Policy 12.14: Provide residents with a safe living environment by ensuring access to emergency and protective services.*

*Policy 12.15: Encourage the conservation of neighbourhood character which will in turn help create a "village" atmosphere or a sense of community within neighbourhoods.*

*Policy 12.16: Provide a variety of residential and non-residential uses within neighbourhoods, to ensure accessibility to basic everyday needs.*

*Policy 12.22: Promote the reduction of waste and recycling of waste materials.*

*Policy 12.23: Promote communities and housing developments that are socially cohesive, reduce isolation, foster community spirit, and share resources.*

*Policy 12.24: Require the development of a range of housing options to meet the economic and lifestyle needs of residents.*

*Policy 12.27: Encourage the development of higher density, more affordable housing in the community, in appropriate locations.*

*Policy 12.36: Encourage the development of new cultural programs and events in our community.*

*Policy 12.38: Encourage events which promote the character of our Rural Service Area, such as Summer Trails and Tales.*

*Policy 13.25: Identify and conserve the community's cultural heritage through the designation of structures; the placement of recognition plaques; the completion of the Heritage Registry; and the introduction of public art, reflecting historically significant events, themes and residents of Strathcona County.*

### **Area Structure Plan - Objectives:**

Strathcona County's main objective for social development within Ardrossan is:

- a. To promote a high quality of life for residents by balancing and diversifying a range of social, educational, environmental, health and cultural opportunities.

### **Area Structure Plan – Policies:**

Strathcona County shall:

- 7.8.1 Undertake development in a manner that compliments and promotes the existing character and identity of Ardrossan as a rural community.
- 7.8.2 Encourage Farmers Markets and other community-initiated events to locate within the area adjacent to the Memorial Hall in response to future demand.
- 7.8.3 Require new subdivisions to enhance walkability with the provision of sidewalks and trails in accordance with County Policy and the Ardrossan Community Recreation Plan.
- 7.8.4 Reinforce the attractive, natural ambience of the community with the promotion of the following design principles:
  - a. Residential areas should be planned in co-ordination with the open space creek system to take advantage of vistas and views of the creek.
  - b. Mid-block pedestrian accesses should be incorporated within subdivisions to provide convenient access to open space corridors, the hamlet core and other amenities and services within the community.
  - c. New residential development should link to the natural open space corridor through the installation of mature street tree plantings. Plantings should also be incorporated at the entranceways to the community.
  - d. Where possible, natural features and visual amenities should be designed to be part of the public realm within a subdivision.
- 7.8.5 Continue to support programs that benefit the social well-being of residents, including but not limited to: 4-H, Ardrossan Strathcona Figure Skating Club, Scouts Canada, and Ardrossan Volunteer Firefighters Alumni Associations.

## **7.9 ECONOMIC DEVELOPMENT**

The Municipal Development Plan identifies that Strathcona County's economy consists of five key economic sectors: oil and gas, manufacturing, agriculture, service, and tourism. The community is able to support one of the County's five key economic sectors – service.

Ardrossan is a minor growth community that provides employment, services and housing to the central part of the County. The range of services provided range from small local specialty stores to home businesses. Services in the plan area will

provide residents and nearby communities with employment and work towards meeting everyday needs.

Recreation opportunities help attract groups to the area and bring individuals together through activities and special events. Special events will continue to be promoted, such as the Lobster Dinner and Dance, the Parade and Picnic and the Annual Country Christmas and Craft sale. In addition, Strathcona County will support marketing of amenities to promote the Ardrossan Recreation Complex as a location to visit for sporting events.

### **Municipal Development Plan - Directions:**

*Objective 1: Develop a strong, diversified and sustainable economy that will provide expanded opportunities for employment, support community growth and foster community pride.*

*Objective 2: Enhance and strengthen the economy of the County.*

*Policy 13.1: Support the County's development as a strong social, economic and cultural community by promoting its unique rural/urban characters.*

*Policy 13.2: Support a balanced economy of tourism, agricultural, residential, commercial and industrial uses as a means of providing citizens with diverse opportunities for employment.*

*Policy 13.3: Encourage growth and development in a well planned, sustainable manner while ensuring compatibility between land uses.*

*Policy 13.5: Pursue the development of a wide range of business and retail services that ensure a self-sustaining, self-reliant, complete economic community.*

*Policy 13.14: Promote and support locally owned small businesses.*

*Policy 13.15: Promote and support community events, recreational activities, sporting events, and cultural activities that enhance civic pride while generating economic benefit and tourism in Strathcona County.*

*Policy 13.16: Support the development of home businesses that are appropriate to the character of the neighbourhood.*

*Policy 13.17: Ensure that the intensity of a home-based business is compatible with the uses in the area where it is located and has minimal impact on the environment, water, municipal infrastructure and neighbouring properties.*

*Policy 13.18: Ensure all home businesses are clearly secondary in nature to the residential use of the property.*

*Policy 13.19: Ensure home businesses that are beyond the intent and purpose of a home business, relocate to appropriate commercial or industrial zoned lands.*

*Policy 13.22: Encourage the development of new events and festivals in the County.*

*Policy 13.23: Continue to promote events within our community, such as Strathcona County's Harvest Festival of Foods and Country Christmas and Craft Sale.*

### **Area Structure Plan - Objectives:**

Strathcona County will endeavour to:

- a. Retain, expand and attract individuals and businesses to locate in Ardrossan.
- b. Promote locally owned small businesses.
- c. Support community events, recreational activities and cultural activities that enhance community pride while generating economic benefit and tourism.

### **Area Structure Plan – Policies:**

Strathcona County shall:

- 7.9.1 Require commercial development be designed in a manner that complements and promotes the existing character and identity of Ardrossan as a distinct, rural community.
- 7.9.2 Support the development of businesses based out of a residence, such as bed and breakfast operations, home offices, minor care centres, and other minor businesses within the residential districts of the hamlet as regulated through the Land Use Bylaw.

## **7.10 AGRICULTURE**

A significant amount of land within the hamlet, to the north of Pointe-aux-Pins Creek, is vacant and currently farmed for crop production. The Land Use Bylaw designates these lands within the Agriculture: Future Development land use district. This Land Use District is intended to provide transitional agricultural uses that will not prejudice the future use of land for urban development. Such existing agricultural operations within the plan area will be allowed to continue but are expected to be eventually replaced in the future by residential development.

### **Municipal Development Plan - Directions:**

*Objective 6: Minimize potential conflicts between agricultural and non-agricultural land uses.*

**Area Structure Plan - Objectives:**

Strathcona County shall encourage:

- a. the continued agricultural uses in areas while designated for future development.

**Area Structure Plan – Policies:**

Strathcona County shall:

- 7.10.1 Allow existing agricultural operations to continue within the hamlet until the land they occupy is to be developed.

**7.11 TRANSPORTATION**

Strathcona County will continue to accommodate the movement of people and commodities in a safe, economical, efficient, and environmentally responsible manner. As the hamlet grows, pressure on the transportation network will continue to increase.

**Municipal Development Plan - Directions:**

*Objective 4: Encourage the use of street layouts that provide access between neighbourhoods.*

*Objective 5: Promote alternatives to vehicular transportation by providing an effective inter-neighbourhood trail system.*

*Policy 15.3: Work cooperatively with municipal, provincial and federal governments to enhance economic growth by encouraging the development of an integrated, multi-use transportation network (trail, road, transit, rail and air) that will meet the needs of individuals, business and industry.*

*Policy 15.9: Reduce the amount of vehicle trips and kilometres traveled by promoting mixed-use developments, walkable communities and compact residential development.*

*Policy 15.10: Provide safe and efficient traffic routes for pedestrians, cyclists and vehicles.*

*Policy 15.12: Strive for an accessible and safe roadway network linking and connecting urban villages, places of employment, recreation area, etc.*

*Policy 15.13: Encourage the development of street layouts that increase access between neighbourhoods.*

*Policy 15.14: Promote development of an effective primary road system for high-volume traffic that conserves the integrity of local neighbourhoods.*

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*Policy 15.15: Require access points, roadway and approach design to be in accordance with Strathcona County road standards.*

*Policy 15.18: Adhere to the policies and recommendations of the Trails Master Plan as updated and amended from time to time.*

*Policy 15.21: Promote the use of alternative forms of transportation such as walking and bicycling through the provision of trails.*

*Policy 15.30: Promote the usage of Park and Ride facilities in the Sherwood Park Urban Service Area and support, where feasible, the development of these facilities in the hamlets.*

### **Area Structure Plan - Objectives:**

To have an effective and efficient transportation network that effectively facilitates the movement of people, vehicles and goods by ensuring that:

- a. adequate on-site parking is available in all new non-residential development;
- b. design concepts for new neighbourhoods promote alternative transportation modes through enhancing the network of trails within the hamlet; and
- c. all roads and trails are constructed and designed in a manner that contributes to an efficient and comprehensive transportation network.

### **Area Structure Plan – Policies:**

Strathcona County shall:

- 7.11.1 Develop the transportation network in accordance with the Proposed Movement Network (Map 5).
- 7.11.2 Consider the impact of traffic and noise on adjacent land uses for new trail development.
- 7.11.3 Construct appropriate pedestrian-oriented lighting and street fixtures along major trails, in accordance with municipal policy, SER-009-008, Light Efficient Community Policy standards.
- 7.11.4 Provide, wherever possible, a minimum separation of 3.0 m between non-motorized and motorized traffic for trails that are located adjacent to roadways.
- 7.11.5 Design trails to maximize opportunities for connectivity within and between development sites.
- 7.11.6 Design and construct new roads in accordance with the cross-sections identified within the Ardrossan Traffic Impact Analysis, and the County's Design and Construction Standards.

## 7.12 UTILITY SYSTEMS

Strathcona County will ensure that, where possible, all residents within the County are provided with a reliable level of municipal services that are economically, socially and environmentally viable.

From the development of new housing, and the renovation to the Ardrossan Recreational Centre, the Ardrossan wastewater lagoon reached maximum capacity and could not accommodate any more storage. This resulted in a complete stop to any further development and growth in Ardrossan.

To address the problem, the County approved the construction of a regional wastewater line extending from the Capital Region Wastewater Treatment Plant to the Ardrossan wastewater lagoon. Further development within the hamlet shall also require the upgrading of the water reservoir and potentially the development of a new dedicated water connection to Sherwood Park.

### **Municipal Development Plan - Directions:**

*Policy 16.24: Support the development of utility facilities that provide technological advances for residents.*

*Policy 16.31: Support a stormwater management plan for new development.*

*Policy 16.37: Develop stormwater quantity and quality monitoring systems for all creeks and major urban storm sewer outfalls.*

*Policy 16.38: Manage stormwater runoff to minimize damage to property which may occur as a result of a natural event.*

*Policy 16.43: Continue to encourage the reduction, reuse, and recycling of solid wastes and the development of an effective recycling infrastructure.*

### **Area Structure Plan - Objectives:**

Development within Ardrossan will avoid the potential negative impacts arising from the design, location and use of infrastructure and utilities on the natural and physical environment by:

- a. Requiring all development to connect to the existing water and sanitary sewer systems;
- b. Ensuring stormwater is appropriately managed on-site prior to being discharged; and
- c. Continuing to encourage use of the County's waste reduction facilities, including the hamlet's recycling station and curbside pickup of organic materials.

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**Area Structure Plan – Policies:**

Strathcona County shall:

- 7.12.1 Extend and connect all future development to Strathcona County's piped water, sanitary sewer, and stormwater system. Details shall be addressed either at the subdivision or land use bylaw amendment stage of development.
- 7.12.2 Require an applicant to provide details concerning the provision of franchise utilities (gas, power, telephone, cable) as part of an application for subdivision approval.
- 7.12.3 Require subdivision and development permit applications within the hamlet of Ardrossan to include the submission of a storm water management plan, to the satisfaction of the County. The stormwater management plan, shall provide details of on-site stormwater detention and treatment infrastructure designed to address the following matters:
  - a. Detain stormwater from hardstand and roofs on-site for storm/rain events up to a 1:100 year event, with a critical duration of a 24 hours event minimum;
  - b. The peak runoff for the critical duration of the event shall be released at a rate no greater than the pre-development rate;
  - c. An emergency overflow route shall be provided, except where, in the opinion of the County, it is not practical to do so;
  - d. The design shall ensure a minimum of 85% removal of sediments of particle size 75 microns or greater, and on-site contaminant treatment and filtration, to the satisfaction of the County.
- 7.12.4 Require storm water management facilities to be legally registered as municipally-owned Public Utility Lots (PUL's).
- 7.12.5 Continue to encourage the reduction of solid waste.

## **SECTION 8: IMPLEMENTATION**

### **8.1 MUNICIPAL DEVELOPMENT PLAN**

The development concept and policies included in this Area Structure Plan are in alignment with the objectives and policies of Strathcona County's Municipal Development Plan. Successful implementation of this Area Structure Plan will enable the County to promote the hamlet of Ardrossan as a minor growth community.

### **8.2 CAPITAL REGION BOARD**

The provisions of the Area Structure Plan do not invoke the criteria of Section 3.2 of the Capital Region Board's Regional Evaluation Framework, and therefore Capital Region Board approval of this Area Structure Plan is not necessary. Future amendments to this Area Structure Plan, however, will have to be evaluated in accordance with the criteria of Section 3.2 of the Regional Evaluation Framework.

### **8.3 LAND USE BYLAW**

The Land Use Bylaw lists a number of implementing Zoning Districts within the developed portion of the hamlet. Areas that are to be developed through this Area Structure Plan are designated either Agriculture: Future Development (AD) or Parks and Recreation (PR). Specific proposals for development will also have accompanying Land Use Bylaw Amendment applications to establish the proper land use district to implement the proposal.

### **8.4 AMENDMENTS TO THIS PLAN**

This Plan may be amended at any time following its adoption:

- at the request of Council;
- upon amendment of the Capital Region Growth Plan to ensure consistency; or
- by a private land owner who wishes to develop a portion of the land within this Area Structure Plan, when the nature of the proposed development is inconsistent with the Area Structure Plan policies.

Any changes to this Area Structure Plan must be consistent with the Municipal Government Act, the Capital Region Growth Plan and the Strathcona County Municipal Development Plan.

Applicants seeking to amend this Area Structure Plan shall provide the supporting information, analysis and technical data requested by the County in order for the merits and impacts of the proposed changes to be properly evaluated.

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## **8.5 LAND USE BYLAW AMENDMENT, SUBDIVISION AND DEVELOPMENT PERMIT APPLICATIONS**

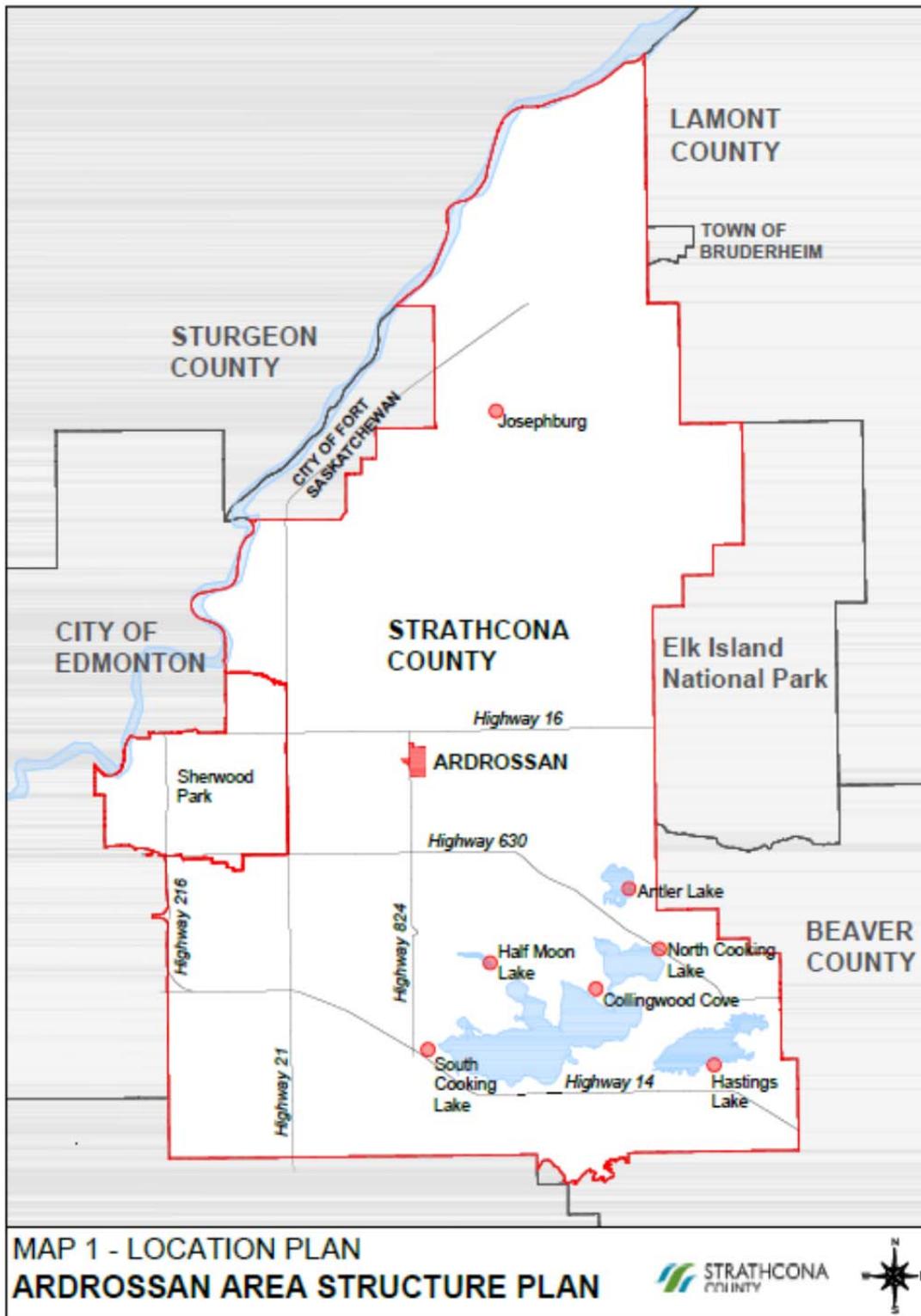
Any proposed Land Use Bylaw amendment application, subdivision application or development permit application shall demonstrate that the proposal generally conforms to the Development Concept and this Plan.

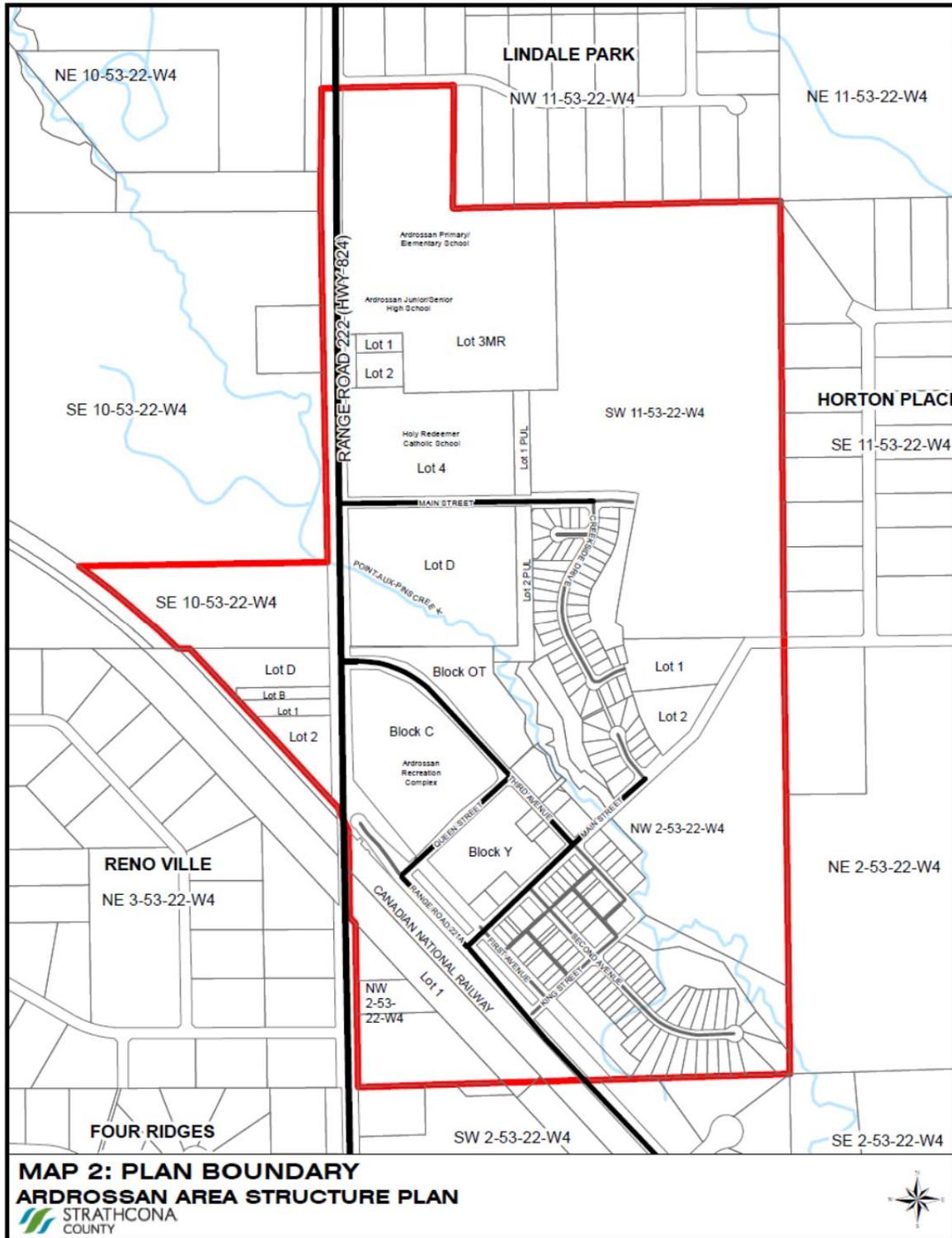
In assessing applications for a Land Use Bylaw amendment and/or development permit, Council, or the Development Authority shall consider a range of matters including the following:

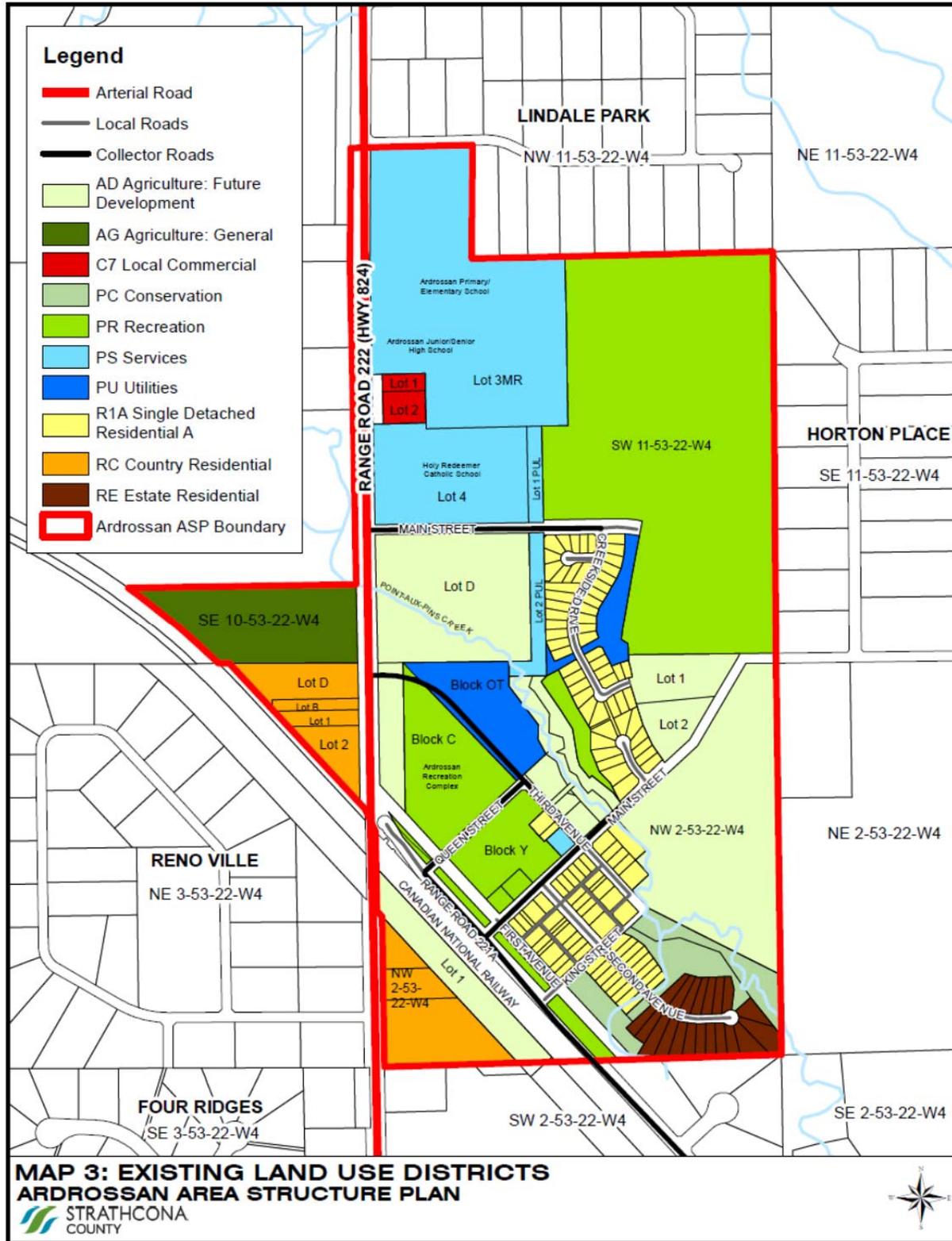
- Whether the proposed land use, overall character and site design meets the policies listed within Sections 6 and 7 of this Plan.
- Whether proposed transportation infrastructure upgrades are consistent with the recommendations of the supporting Traffic Impact Assessment, or amendments thereto.
- Whether public realm improvements are consistent with the Development Concept, the recommendations of the Ardrossan Community Recreation Master Plan, and relevant County Policy.

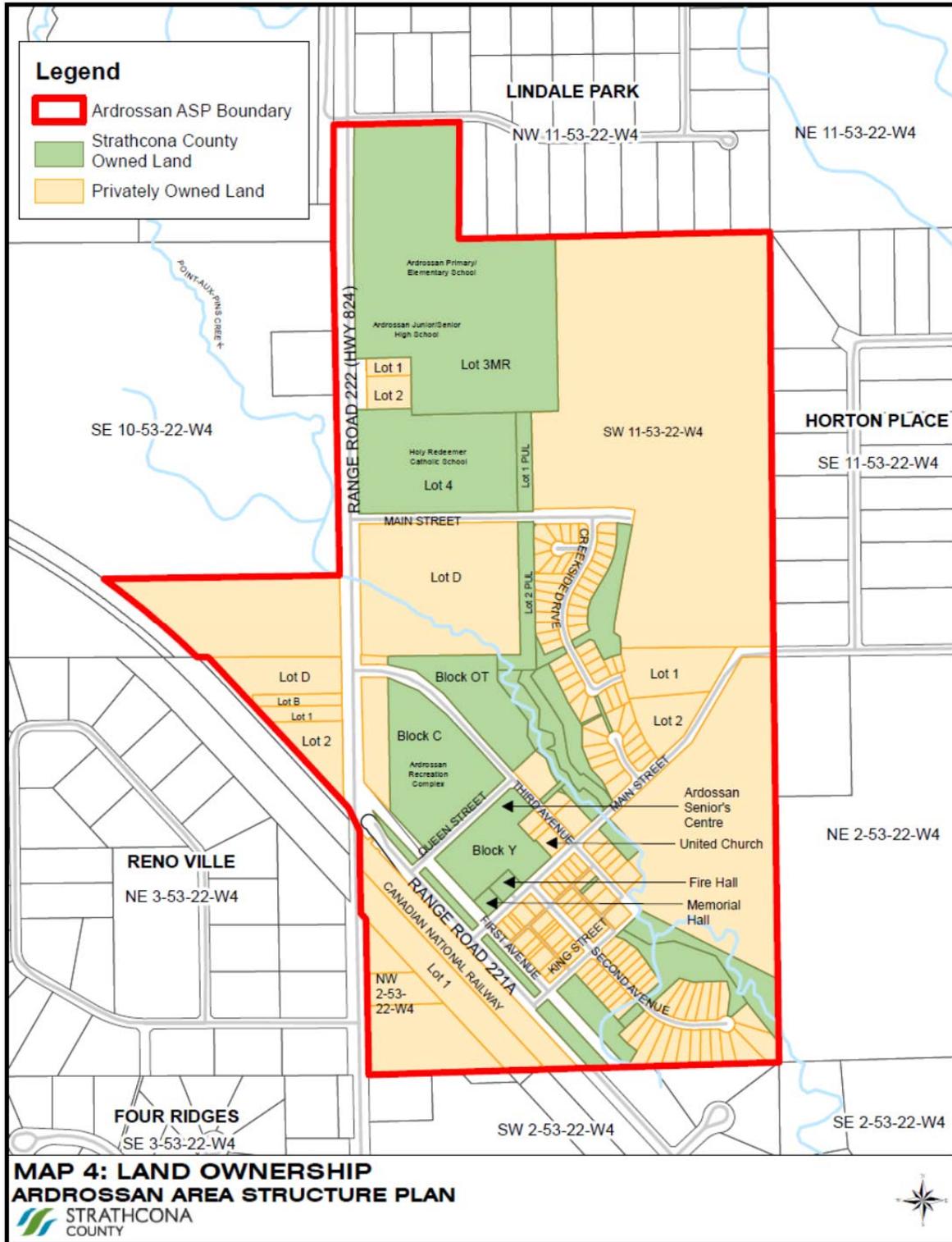
Design and layout for new subdivisions shall conform to the following principles:

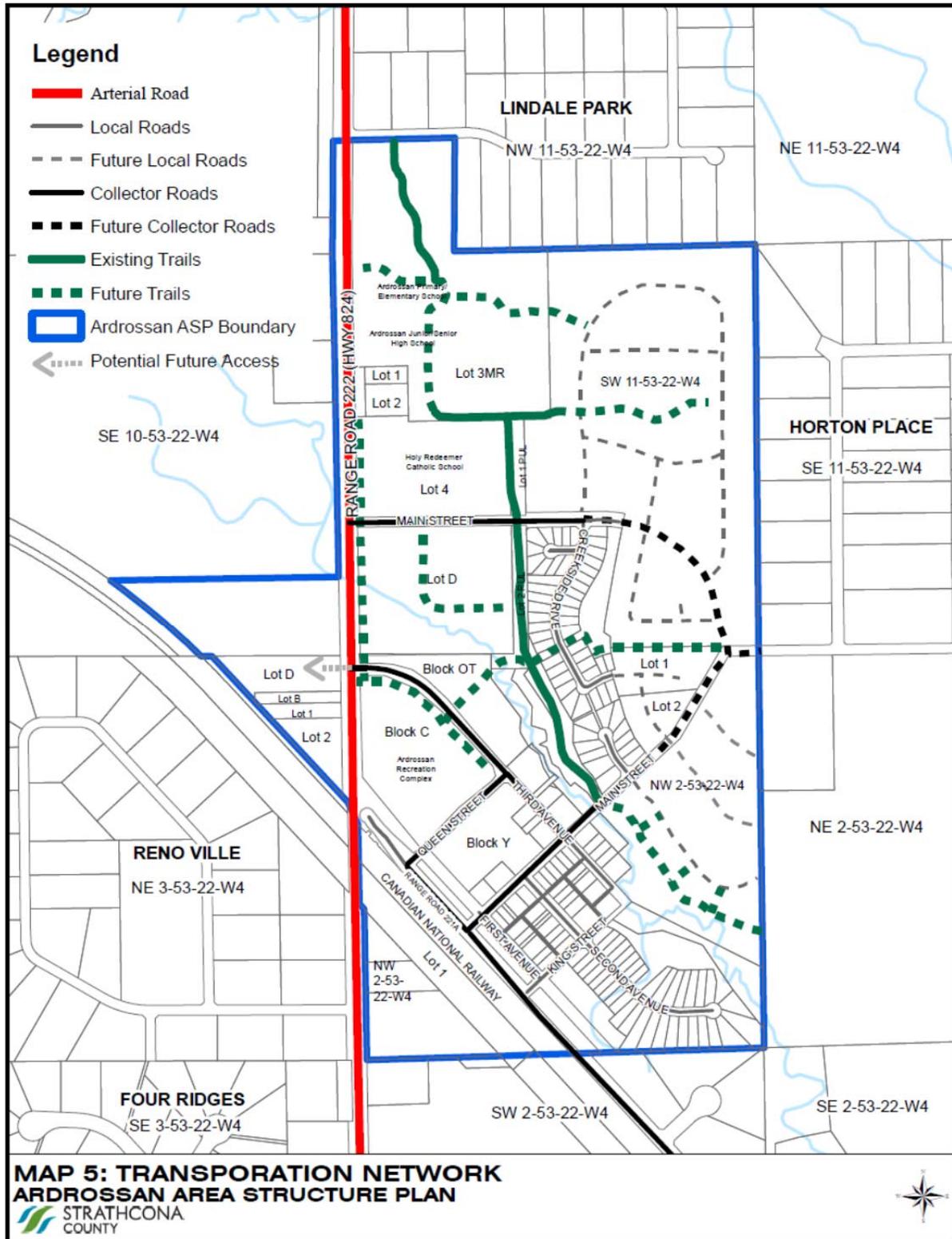
- Allow for public amenities in close proximity to residential areas.
- Internal roads shall complement the proposed pedestrian trail network.
- Improve pedestrian linkages and trail connectivity.
- Encourage vehicular and pedestrian connectivity between adjacent subdivisions.
- Ensure entrances to different subdivisions have distinct landscape character.
- Minimize cul-de-sacs and improve neighbourhood connectivity.

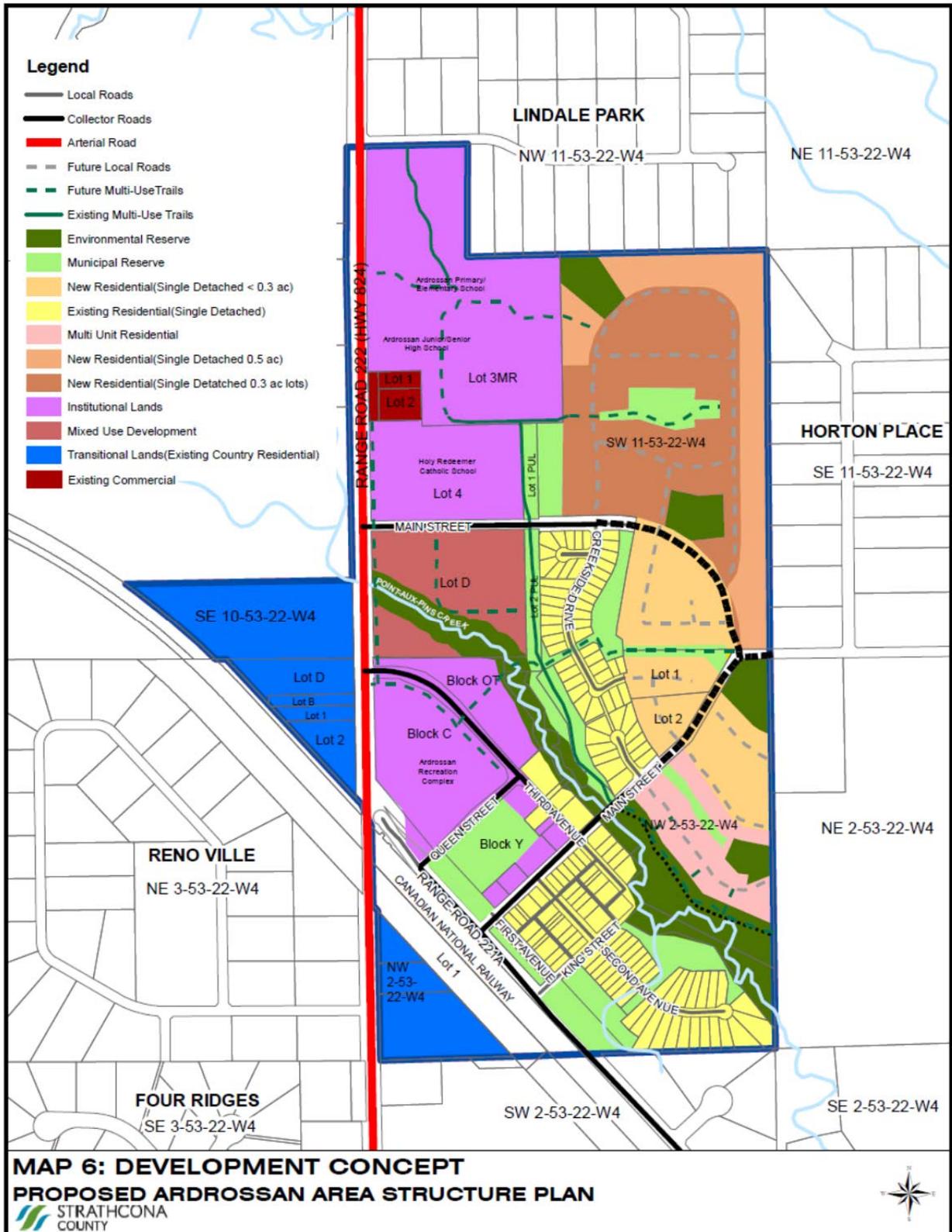












## **APPENDIX A: 2012 ARDROSSAN POPULATION, DEMOGRAPHIC AND SOCIAL CONDITIONS**

### **Age of Residential – 2012 Municipal Census Results**

|            | Ardrossan* |       |
|------------|------------|-------|
|            | N          | %     |
| Birth - 14 | 126        | 24.8% |
| 15-24      | 57         | 11.2% |
| 25-34      | 33         | 6.5%  |
| 35-44      | 95         | 18.7% |
| 45-54      | 96         | 18.9% |
| 55-64      | 47         | 9.2%  |
| 65+        | 55         | 10.8% |

\*Excludes 5 Ardrossan residents who did not disclose their age.

### **Gender of Residents – 2012 Municipal Census Results**

|        | Ardrossan* |        |
|--------|------------|--------|
|        | N          | %      |
| Male   | 257        | 50.5%  |
| Female | 252        | 49.5 % |

\*Excludes 5 Ardrossan residents who did not disclose their gender.

### **Working Status of Residents – 2012 Municipal Census Results**

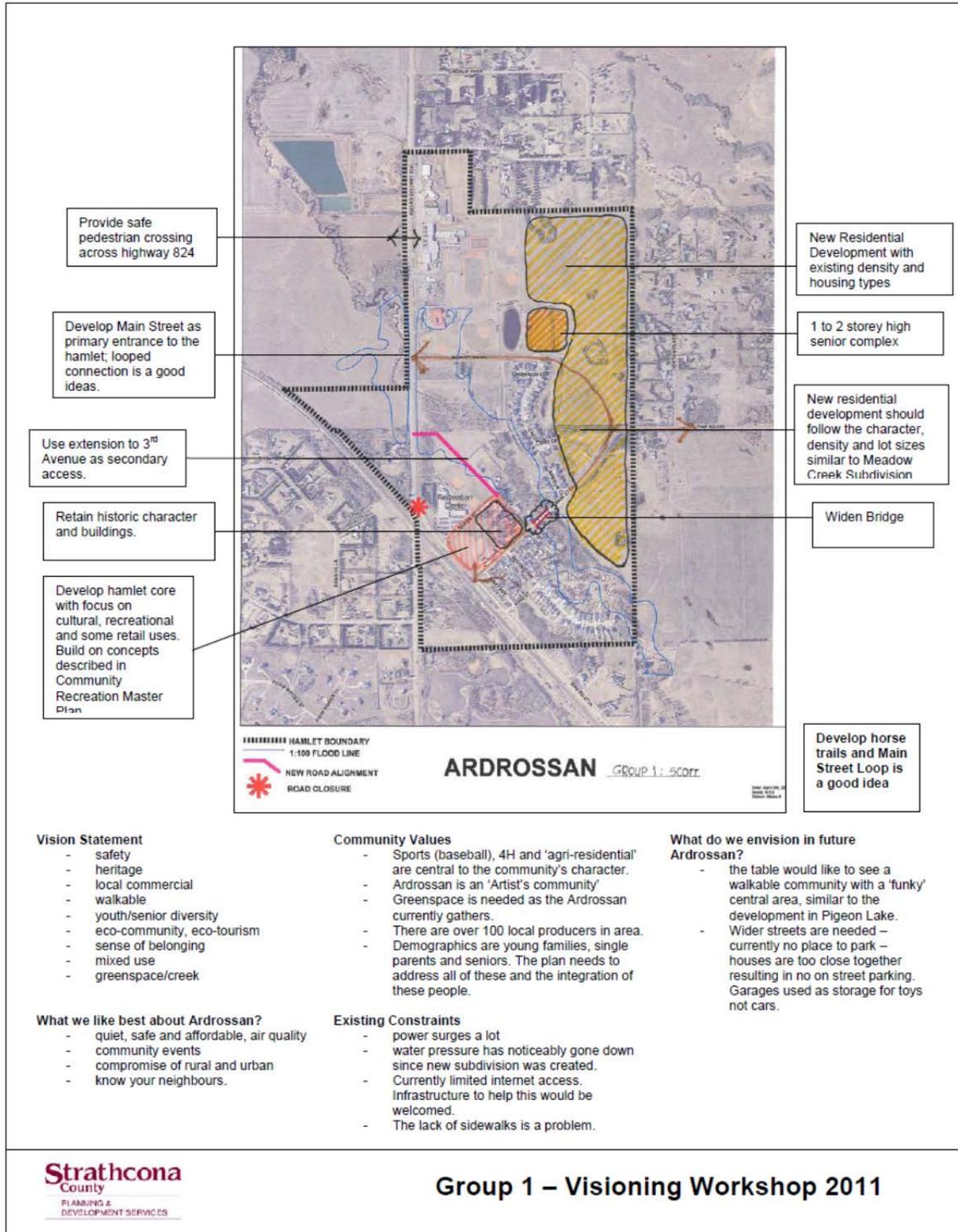
|                        | Ardrossan* |       |
|------------------------|------------|-------|
|                        | N          | %     |
| Employed full-time     | 230        | 45.2% |
| Employed part-time     | 43         | 8.4%  |
| Student K-12           | 117        | 23.0% |
| Student post-secondary | 10         | 2.0%  |
| Not applicable         | 109        | 21.4% |

\*Excludes 5 Ardrossan residents who did not disclose their work status.

### **Housing Types – 2012 Municipal Census Results**

|  | Ardrossan |       |
|--|-----------|-------|
|  | N         | %     |
| Single detached                                | 173       | 98.3% |
| Manufactured home                              | 2         | 1.1%  |
| Collective dwelling                            | 0         | ---   |
| Single Dwelling attached to Non Res. Structure | 1         | 0.7%  |
| Duplex   | 0         | ---   |
| Row House                                      | 0         | ---   |
| Apartment                                      | 0         | ---   |

**APPENDIX B: PUBLIC CONSULTATION SUMMARY**  
**Visioning Workshop – April, 2011**



**Vision Statement**

- safety
- heritage
- local commercial
- walkable
- youth/senior diversity
- eco-community, eco-tourism
- sense of belonging
- mixed use
- greenspace/creek

**What we like best about Ardrossan?**

- quiet, safe and affordable, air quality
- community events
- compromise of rural and urban
- know your neighbours.

**Community Values**

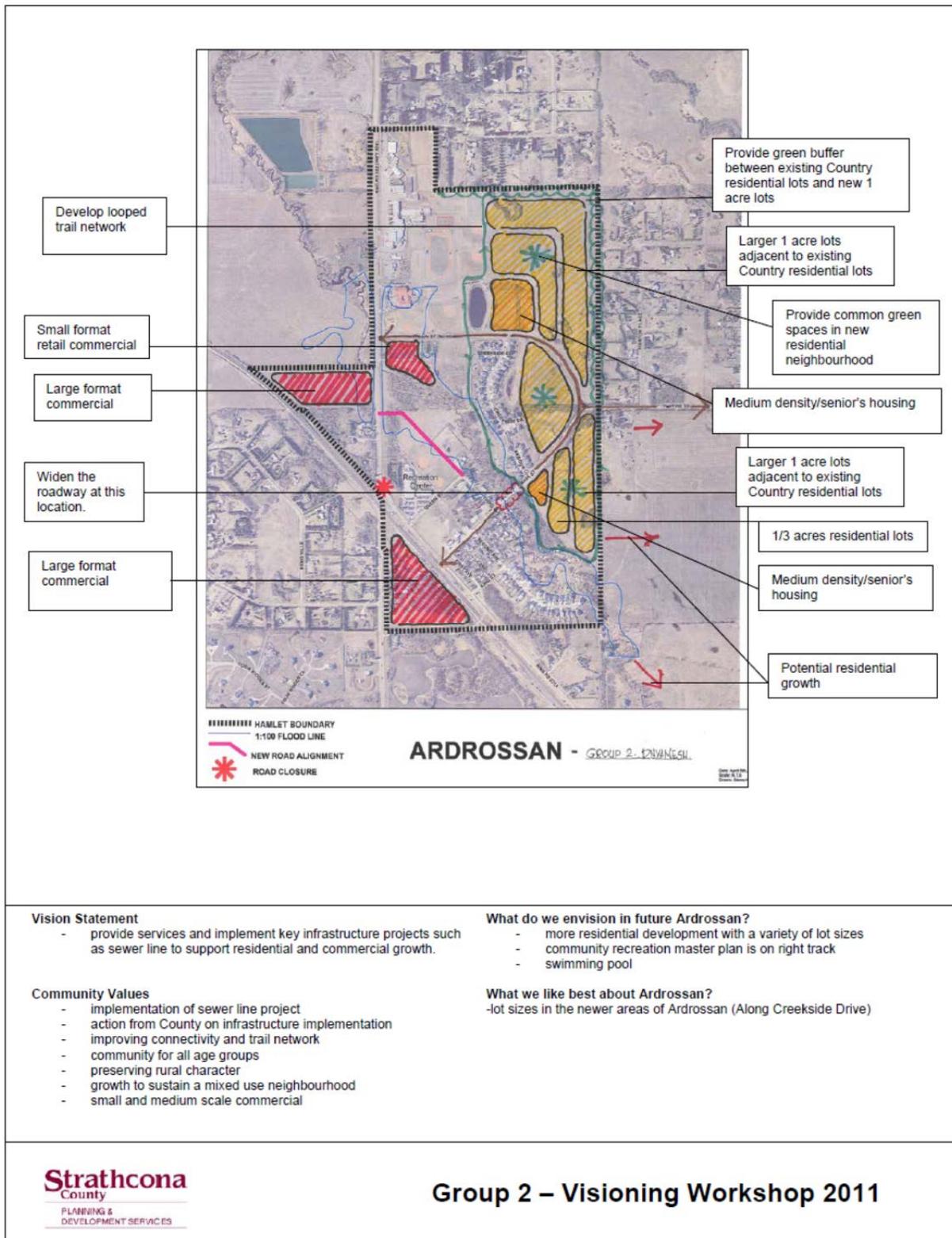
- Sports (baseball), 4H and 'agri-residential' are central to the community's character.
- Ardrossan is an 'Artist's community'
- Greenspace is needed as the Ardrossan currently gathers.
- There are over 100 local producers in area.
- Demographics are young families, single parents and seniors. The plan needs to address all of these and the integration of these people.

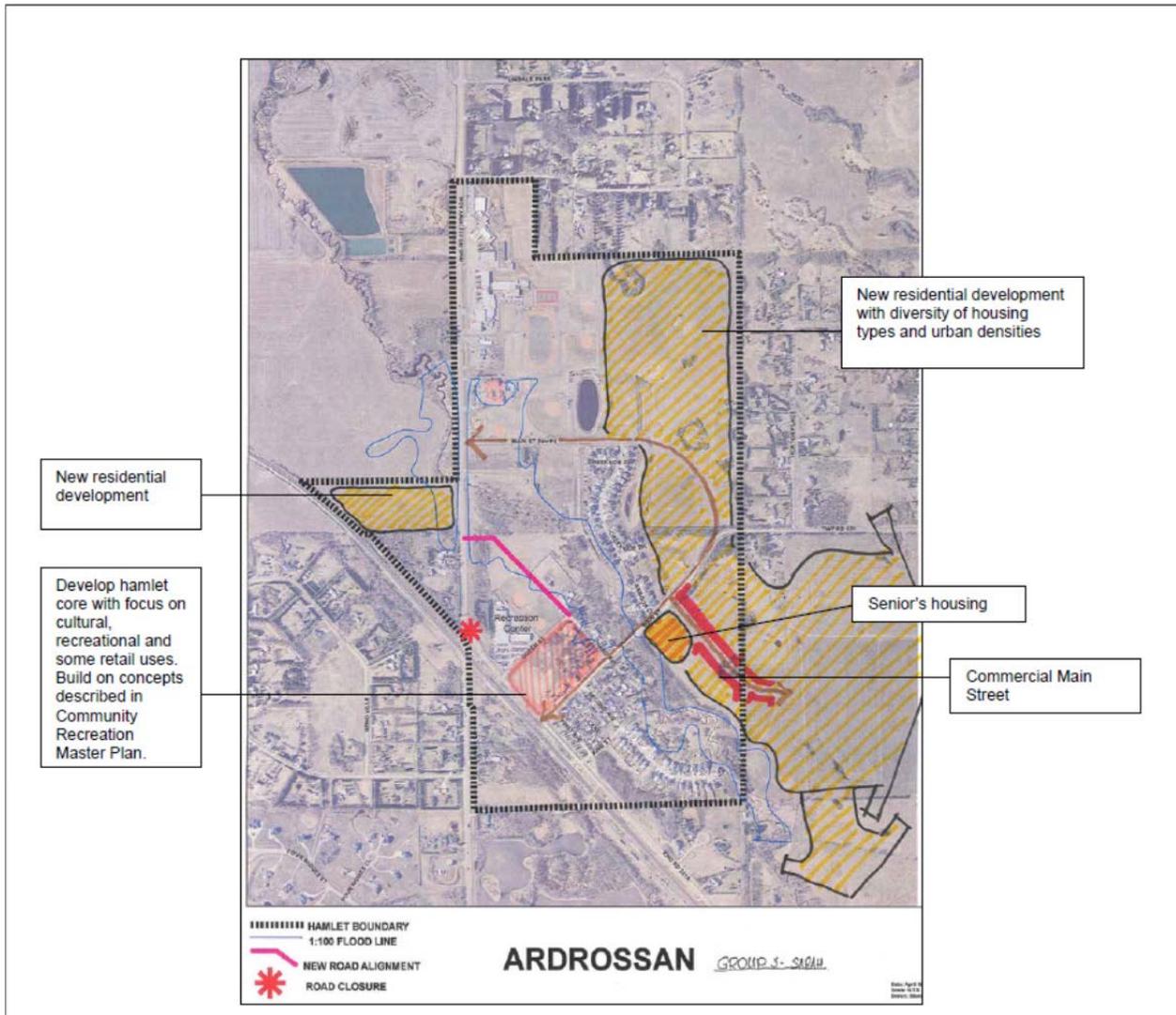
**Existing Constraints**

- power surges a lot
- water pressure has noticeably gone down since new subdivision was created.
- Currently limited internet access. Infrastructure to help this would be welcomed.
- The lack of sidewalks is a problem.

**What do we envision in future Ardrossan?**

- the table would like to see a walkable community with a 'funky' central area, similar to the development in Pigeon Lake.
- Wider streets are needed – currently no place to park – houses are too close together resulting in no on street parking. Garages used as storage for toys not cars.





**Vision Statement**

- A vibrant community under 5000 people where people of all ages can live, work and play
- A diverse community
- An important community for all the residents in the surrounding area, they need to be included in decisions on services
- Trees by the railroad track to buffer the noise
- Keep heavy industrial north of highway 16
- Attract more small shops in the community – laundry, food, auto repair

**Community Values**

- trails; get bicyclists off Baseline Road
- connection to the Wildemess centre
- safety; walkable Main Street
- bus route to Sherwood Park –connection to stops for pedestrians
- housing for seniors; recreation centre
- small lot acreage development with clusters

**What do we envision in future Ardrossan?**

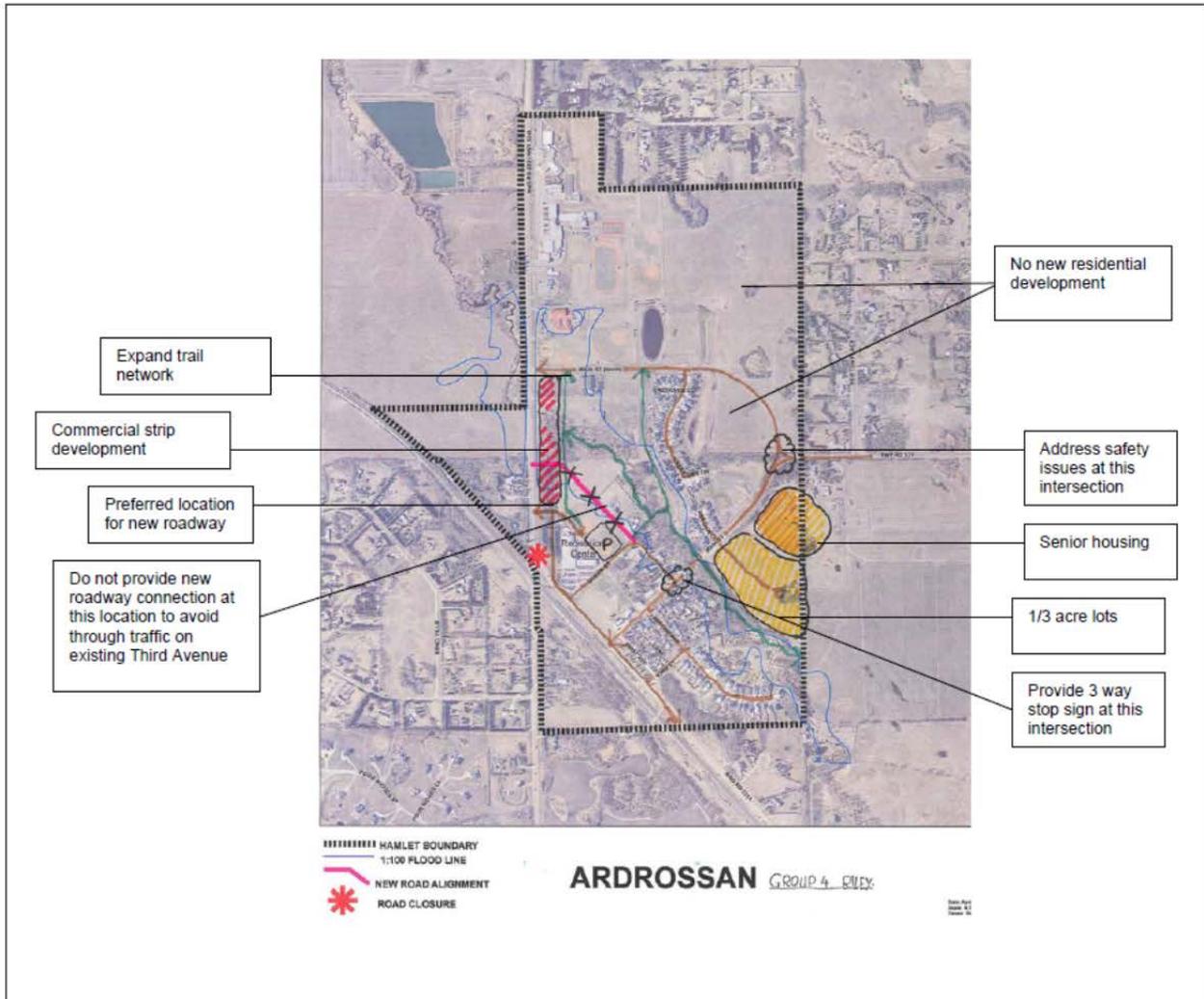
- Services, more people, jobs
- More than a bedroom community; services for all ages
- Named streets,
- Small playgrounds/ parks
- Connected with trails
- More community events but need volunteers
- Bigger lot development
- Variety of housing; affordable for young people
- Keep post office, don't lose anything

**What we like best about Ardrossan?**

- recreation center, post office
- there were more services 40 years ago and that was better. Residents in old part don't want development because of parking.
- Small town feel, but wish it was bigger.

**Existing Constrains**

- protecting the creek
- access alterative to 222
- Fire access and traffic capacity in old part of Ardrossan



**Vision Statement**

- Ardrossan is a community that values:
- Family , established roots, aging in place
  - A place that you can call home
  - Heritage
  - "Quaintness"
  - Blend of urban and rural living
  - Quiet, family oriented
  - Friendly small scale

**Community Values**

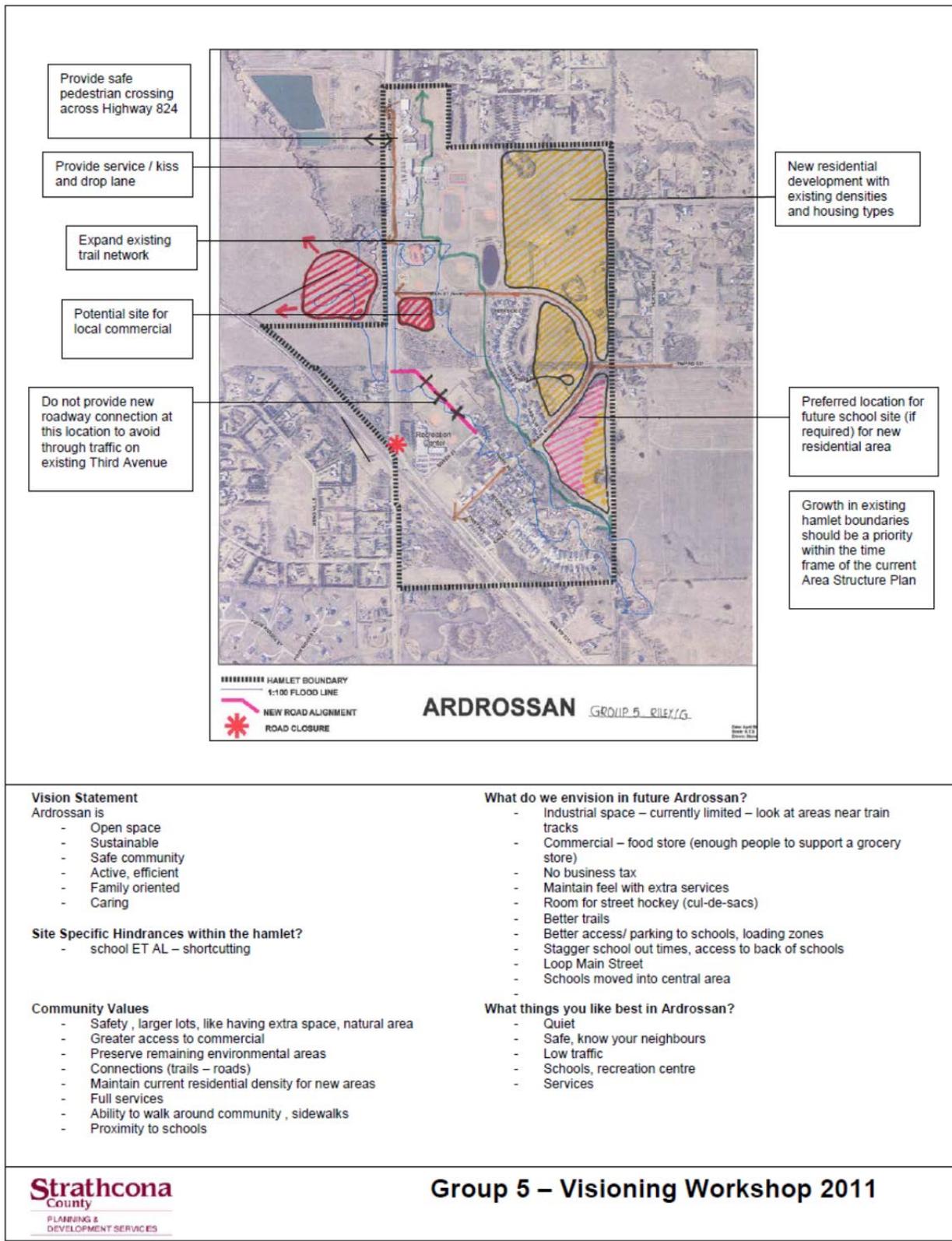
- Safety (roads, speed, type, width, giving up land)
- Creek protection – buffer
- No stores. Ok
- Clean
- Quiet community with limited services
- Small town – rural context next to urban
- Large lots
- Low income housing? Needs transit (no buses)
- Road along track is perfect
- Fire station needs upgrades

**What do we envision in future Ardrossan?**

- Trail links from residential areas to schools
- More trails to recreation complex and recreation areas
- Traffic movement – away from existing – do not underestimate the amount of traffic
- Move recycling station
- Need +55 seniors living 4 level housing
- Lots bigger than city lots
- Rail to Sherwood Park and Fort Saskatchewan
- New fire hall

**Community Values**

- Recycling upgrade
- One exit from recreation complex to RR222



**Vision Statement**

- Ardrossan is
- Open space
  - Sustainable
  - Safe community
  - Active, efficient
  - Family oriented
  - Caring

**Site Specific Hindrances within the hamlet?**

- school ET AL – shortcutting

**Community Values**

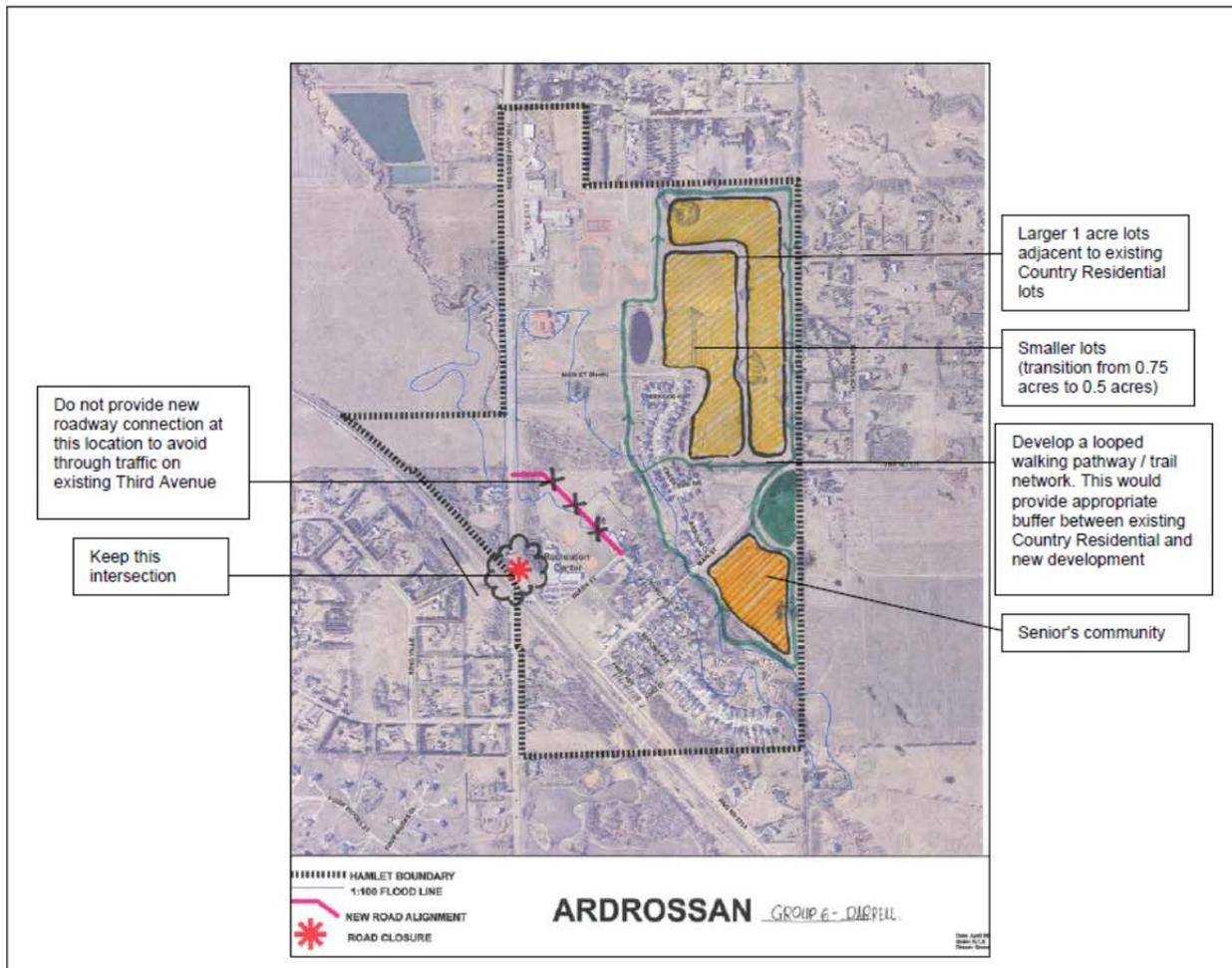
- Safety , larger lots, like having extra space, natural area
- Greater access to commercial
- Preserve remaining environmental areas
- Connections (trails – roads)
- Maintain current residential density for new areas
- Full services
- Ability to walk around community , sidewalks
- Proximity to schools

**What do we envision in future Ardrossan?**

- Industrial space – currently limited – look at areas near train tracks
- Commercial – food store (enough people to support a grocery store)
- No business tax
- Maintain feel with extra services
- Room for street hockey (cul-de-sacs)
- Better trails
- Better access/ parking to schools, loading zones
- Stagger school out times, access to back of schools
- Loop Main Street
- Schools moved into central area

**What things you like best in Ardrossan?**

- Quiet
- Safe, know your neighbours
- Low traffic
- Schools, recreation centre
- Services



**Vision Statement**

- want Ardrossan to remain a close knit community

**Issues**

- proposed road closure
- proposed new road access is too close to other proposed road extension

**Community Values**

- Improved services for young children (pool) / park upgrade
- Remain small
- Peaceful, quiet, open spaces with trees
- Sufficient schools for population
- Future development must include larger lots (lot sizes between 0.5 acres to 1+ acres)
- No high density housing
- 55+ community is ok at location shown on map
- No commercial (store)
- Road safety / traffic density low
- Maintain water pressure

**What do we envision in future Ardrossan?**

- Like as it is now just a bit bigger
- Smaller community / safe
- Controlled growth, low density
- Leave hamlet the same size it currently is

**What things you like best in Ardrossan?**

- Quiet community low crime / close to Sherwood Park
- Want it to look similar in future as it does now
- Keep walking paths off main roads
- No sidewalks
- Do not have gravel walking paths, all paved, make sure they connect so you can do a loop
- Do not want bus service for at least ten years, helps keep kids in community. That's why parents move out here.
- Road volumes can not handle current volume, concern about more development and road changes making worse ( Third Avenue) increased traffic through town with proposed plan

**ARDROSSAN GROUP 7 VISION**

Legend:  
 - HAMLET BOUNDARY (dashed line)  
 - 1:100 FLOOD LINE (blue line)  
 - NEW ROAD ALIGNMENT (pink line)  
 - ROAD CLOSURE (red star)

Callout boxes:  
 - Provide service / kiss and drop lane  
 - Ravine and trails network should act as central spine of the hamlet  
 - A network of secondary trails should provide multiple accesses to central green spine  
 - A grade separation is required at this intersection between roadway and railway tracks  
 - New residential development to comply with the existing Area Structure Plan policies

**Vision Statement**  
 In twenty years, Ardrossan is

- A thriving rural center of the parkland setting, a coveted place to live in the Capital Region
- Ardrossan, the best of both worlds!!!

**Existing constrains**

- Highways, RR track hard to cross – busy line
- Increasing and future cost of gas to get services outside Ardrossan
- We need services in Ardrossan
- Community support workers have lower salaries traditionally. They need to afford to live n Ardrossan

**Community Values**

- Enough services
- Variety of services for different age groups
- Want dentists, local doctor, coffee shop, grocery stores, gathering place, community hall, car wash
- Safe walking along highway 222 for school kids
- School safety for kids being dropped off – need more alternative parking drop – off loop
- Would use gym a lot

**What do we envision in future Ardrossan?**

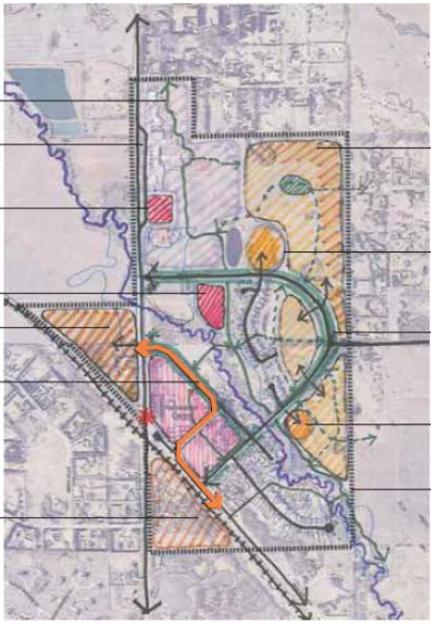
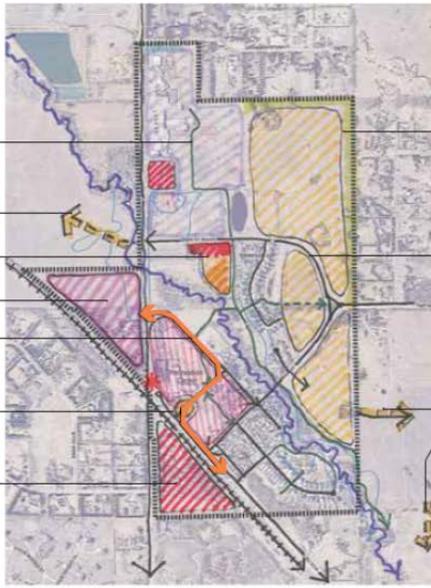
- Need 5000-7000 people to attract big food store yet 4 mile radius there are 10,000 people (2006 census)
- Want to keep small town feel
- Variety in housing (now old or expensive \$550,000 or new \$600,000) ex. Senior apartments
- Want to keep variety in size / types of homes (visual appeal) different lot sizes
- Need for affordable housing (\$300,000-\$350,000)
- Still want bigger lots to keep ideals of space eg. Larger distance between houses, more surface drainage including swales, wider roadways, no sidewalks, cul-de-sacs okay, better conductivity to link roads, lower density, more parkland
- Review road plans
- Municipal services – paved roads, underground electrical
- Keep walking trails instead of sidewalks
- Design new communities along walking trails not roads

**Strathcona County**  
 PLANNING & DEVELOPMENT SERVICES

**Group 7 – Visioning Workshop 2011**

**Rural Living Days – May 2011**

Two development concepts, based upon the previous visioning session, were created for discussion and display at the 2011 Rural Living Days. The two scenarios had features labelled in numbers for referencing and based on the numbers shown on the two scenarios, the public were asked to circle the number for each scenario they preferred as part of the questionnaire.

|  |  |
|--|--|
| <h3>Scenario 1</h3>   |  |
| <p>1 Develop extensive trail network connecting existing neighbourhoods to school, creek, recreational areas and future residential areas</p> <p>2 Develop service lane for safety and ease of vehicular access to school sites</p> <p>3 Existing Commercial Node</p> <p>4 New Retail Commercial Node</p> <p>5 Maintain existing Country Residential use</p> <p>6 Design of Third Avenue extension to ensure that through traffic on existing Third Avenue is minimized</p> <p>7 Maintain existing Country Residential use</p>   | <p>8 Large 1 Acre lots to provide transition between new residential development and existing country residential subdivision</p> <p>9 Seniors Housing Complex in close proximity to natural areas, schools and sports facilities</p> <p>10 Special streetscape on Main Street to enhance the rural feel of the hamlet.<br/>- Trees<br/>- Pedestrian oriented lighting<br/>- Trails, benches<br/>- Houses to front on Main Street</p> <p>11 Seniors Housing Complex in close proximity to creek</p> <p>12 Priority should be given for new residential development within the existing hamlet boundaries</p> |
| <h3>Scenario 2</h3>    |  |
| <p>13 Limit the trail network concentrated predominantly along the existing creek and school area</p> <p>14 Consider potential residential growth in this direction beyond the existing hamlet boundaries</p> <p>15 Incorporate senior's housing with in a mixed use commercial development along Main Street in close proximity to creek, trails and schools</p> <p>16 Re-designate for future Light Industrial uses (Such as offices, indoor warehousing and other uses in ILT zone)<br/>Design of Third Avenue extension to ensure that through traffic on existing Third Avenue is minimized</p> <p>17 Locate seniors housing in close proximity to cultural facilities and Recreation Centre</p> <p>18 Re-designate for future auto oriented large format commercial or light industrial uses</p> | <p>19 Require a green buffer to provide transition between new residential development and existing country residential subdivision</p> <p>20 Status-quo design for Main Street<br/>- Houses backing on Main Street<br/>- No special streetscape</p> <p>21 Consider potential residential growth in this direction beyond the existing hamlet boundaries</p>   |
| <p>Ardrossan Area Structure Plan Update</p>  |  |
| <p>Summary of Visioning Exercise (April 6, 2011)</p>   |  |
|   |  |
| <p><b>3</b></p>  |  |

**What do you like?**

Based on the numbers shown on **Display Board #3**, please circle the features you like in **Scenario 1** and **Scenario 2**.

*Scenario 1*

1   2   3   4   5   6   7   8   9   10   11   12

*Scenario 2*

13   14   15   16   17   18   19   20   21

**Prioritization**

Please identify the five features that you feel are the most important.

\_\_\_\_\_

**Additional Comments**

Do you have any additional thoughts about the features of the two scenarios?

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Scenario 1

1. Develop extensive trail network connecting existing neighbourhoods to school, creek, recreational areas and future residential areas. (3)
2. Develop service lane for safety and ease of vehicular access to school sites. (0)
3. Continue the development on existing commercial node. (0)
4. New retail commercial node to be located south of Main Street and east of the creek. (4)
5. Maintain existing Country Residential use in the triangle west of Highway 824. (2)
6. Design of Third Avenue extension to ensure that through traffic on existing Third Avenue is minimized. (0)
7. Maintain existing Country Residential use in the triangle south of the CN tracks. (1)
8. Large 1 acre lots to provide transition between new residential development and existing country residential subdivision. (3)
9. Senior Housing Complex in close proximity to natural areas, schools and sports facilities. (5)
10. Special streetscape on Main Street to enhance the rural feel of the hamlet: trees, pedestrian oriented lighting, trails, benches and houses to front on Main Street. (6)

11. Senior Housing Complex in close proximity to the creek. (2)
12. Priority should be given for new residential development within the existing hamlet boundaries. (0)

#### Scenario 2

13. Limited the trail network concentrated predominantly along the existing creek and school area. (0)
14. Consider potential residential growth west-ward beyond the existing hamlet boundaries.(2)
15. Incorporate senior's housing with in a mixed use commercial development along Main Street in close proximity to creek, trails and schools. (2)
16. Redesignate for future light industrial uses (such as office, indoor warehousing and other uses in ILT zone) in the triangle west of Highway 824. (2)
17. Locate seniors housing in close proximity to cultural facilities and recreation centre. (0)
18. Redesignate for future auto-oriented large format commercial or light industrial uses in the triangle south of the CN tracks. (5)
19. Require a green buffer to provide transition between new residential development and existing country residential subdivision. (1)
20. Status-quo design for Main Street: houses backing on Main Street with no special streetscape. (0)
21. Consider potential residential growth in this direction beyond the existing hamlet boundaries. (0)

Based on the two scenarios and statements provided at the workshop, the residents identified no interest to the following statements:

- Develop a service land for safety and ease of vehicular access to the school sites
- Keep the existing commercial node
- Proposed Third Avenue expansion
- Priority should be given for new residential development within the existing hamlet boundaries
- Limit the trail network concentrated predominantly along the existing creek and school area
- Locate senior housing in close proximity to cultural facilities and recreational centre

The residents also identified the following statements to best represent the future of Ardrossan:

- Senior housing complex located in close proximity to natural areas, schools and sports facilities
- Special streetscape such as trees, trails and benches, house fronting Main Street and pedestrian-orientated lighting on Main Street to enhance the rural feel of the hamlet
- Large 1 acre lots to provide transition between residential development and existing country residential subdivisions.

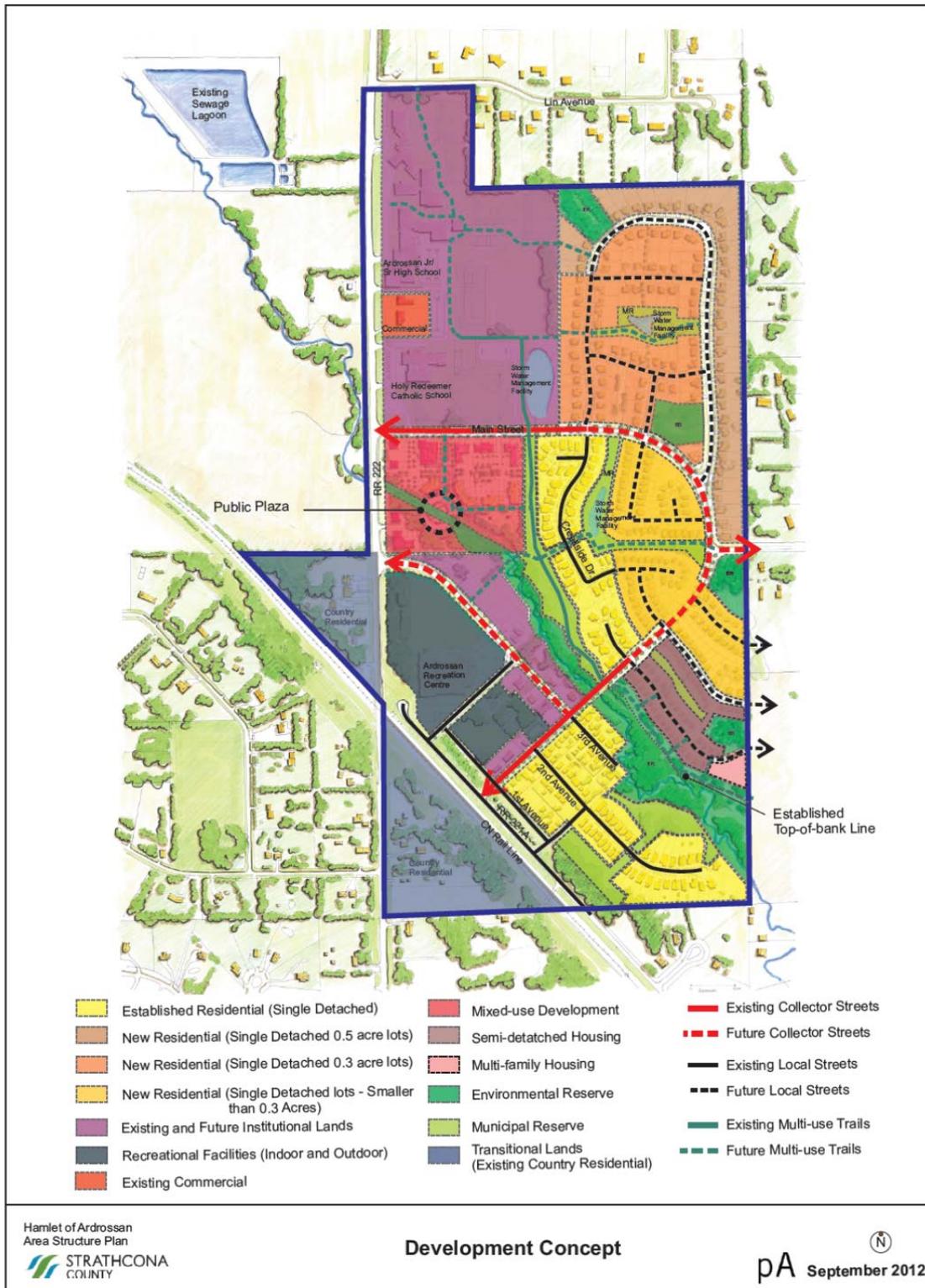
**Open House #1 – Presentation of Three Development Scenarios  
June, 2012**







**Open House #2 – Presentation of the Preferred Development Concept  
September, 2012**







**APPENDIX C: FIRESMART GUIDELINES**



# FIRESMART

**Things to consider**  
If you live in or near a forested region or treed area, sooner or later you may have to contend with the spread of a wildfire. The best protection against loss, damage or injury due to wildfire is prevention. Properly preparing your home and community doesn't guarantee that you will not incur fire damage, but it does reduce the risks. The following guidelines include requirements and recommendations to aid in protecting your home from wildfire.

**Siting**

- The building is located on the bottom or lower portion of a hill (or at the top of a slope but with adequate setbacks).
- Single-story buildings are located 10 metres from the crest of the slope (taller buildings will need proportionately greater setback distances).

**Landscaping**

- All flammable vegetation within 10 metres of the home has been removed or converted to fire resistant plants (i.e. broad leaf deciduous trees, low shrubs, ferns, annuals, etc.).
- The area between 10 metres and 30 metres from the home and treed area is landscaped with lawn or noncombustible materials.
- Underbrush and ladder fuels in surrounding forest (if area is owned) have been removed.
- Landscapes and vegetation close to interface buildings are regularly monitored during drought.
- Trees and underbrush within 30 metres of the house have been thinned.

**Location of combustibles**

- Firewood, building material, wooden storage sheds, and other combustible debris piles are located 10 metres or more from any building.

**Roof**

- Roofing materials are made of metal, tile, asphalt, ULC-rated treated shakes or noncombustible material.
- Dead leaves, needles or other combustibles are removed from the roof and gutters.
- The roof is clear of all overhanging branches.

**Eaves, vents and openings**

- Closed eaves and vents are accessible and screened with 3-millimetre mesh.
- Soffit vents/openings are located away from exterior walls.

**Exterior walls**

- Exterior walls of stucco, metal siding, brick, cement shingles, concrete block, poured concrete and rock offer greater fire resistance.
- Vegetation and other combustible material is cleared from the building exterior.

**Balcony, deck or porch**

- Balconies and undersides of decks or porches are built of noncombustible material.
- Open areas beneath the deck, balcony or porch are enclosed with 12-millimetre (preferably fire resistant) sheathing.
- If deck platform has spaces between the boards, access is provided under the deck for removal of debris that has fallen through the cracks.

**Access to tools**

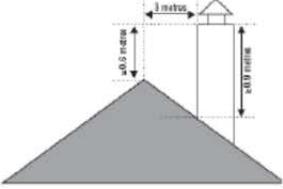
- Shovels, rakes, axes, garden hoses, sprinklers and roof ladders are readily available outside the home.

**Doors and windows**

- Concentrations of fuel are cleared within 10 metres of windows and glass doors.
- Windows are made of tempered glass.
- Smaller panes of glass are used (less vulnerable to breakage).
- Doublethermal pane windows are used.
- Solid shutters provide increased fire protection. They should be made of non-flammable material, although 12-millimetre exterior grade plywood can be used.

**Chimneys**

- Chimney outlets have at least 3 metres clearance away from all vegetation and obstructions.
- All chimneys used with solid or liquid fuel burning devices have approved spark arrestors. Arrestors are securely attached and made of 12-gauge welded or woven wire mesh screen (mesh no coarser than 12 millimetres).
- The Alberta Building Code requires that chimney outlets must be at least 0.6 metres higher than any part of the roof that is within 3 metres of the chimney and located at least 0.9 metres above the point at which the chimney joins the roof surface.



**Power lines and propane tanks**

- All vegetation including weeds and long dry grass is cleared well back from any power lines and power poles.
- No vegetation is located within 3 metres of a propane tank.
- The propane tank must be located from 10 to 25 metres away from any building, depending on the size of the tank.
- Propane tank valves are pointed away from any building.

**Burn barrels and fire pits**

- The burning barrel and/or fire pit is located at least 3 metres from any logs, stump, snag or standing tree.
- The burning barrel and/or fire pit is located at least 15 metres from any building or flammable material.
- The burning barrel and/or fire pit is surrounded by a 3-metre mineral soil, clean rock, gravel, concrete or sand area, with all leaves, twigs and other flammable materials removed.
- The burning barrel is screened with a metal screen of 6-millimetre wire mesh.
- The burning barrel is anchored to metal stakes.
- The fire pit is less than 1 metre wide.

**Mobile and manufactured homes**  
(The previous points about conventional homes also apply)

- Areas underneath the mobile/manufactured home are skirted with noncombustible materials.
- Adequate tie-downs are used if installation is to be semi-permanent.

**Fire suppression**

- There is access to the area for emergency vehicles i.e. road width, grade, curves, layout, and design accommodate emergency vehicles.
- There is an on-site water supply. Tanks, ponds, pools or underground systems can be developed.
- Suppression equipment is on site and accessible (i.e. shovels, rakes, garden hose long enough to reach roof tops, rooftop access ladder and sprinkler).
- All streets and roads are marked with highly visible, noncombustible signs.
- Your address is clearly visible for quick identification.

**Further information**  
Strathcona County Emergency Services  
780-467-5216



# FIRESMART

**Protecting your home from wildfire**

**Strathcona County**  
www.strathcona.ca

November 2005

**APPENDIX D: LIST OF IMPLEMENTATION PROJECTS**

The following table is a list of projects identified through the ASP review process that may be undertaken to implement the goals and objectives of the Plan. It is not intended to be an exhaustive list and Strathcona County Council is not obliged in any way to authorize any of these projects.

| Project  | Lead Department                                      |
|--|--|
| Construct horizontal curve at intersection of Queen Street and Range Road 221A                               | Transportation and Agriculture Services              |
| Rehabilitate Queen Street, between Third Avenue and Range Road 221A, with added sidewalk on northeast side   | Capital Planning and Construction                    |
| Rehabilitate Third Avenue, between Queen Street and Main Street, with added sidewalk on southeast side       | Capital Planning and Construction                    |
| Rehabilitate Main Street, between Range Road 221A and Pointe-aux-Pins Creek with sidewalk on northwest side  | Capital Planning and Construction                    |
| Replace bridge on Main Street that crosses Pointe-aux-Pins Creek   | Capital Planning and Construction                    |
| Reconstruct accesses from Highway 824 into schools   | Capital Planning and Construction                    |
| Develop trail connecting Ardrossan Recreation Complex with Residences on north side of Pointe-aux-Pins Creek | Planning & Dev. Services                             |
| Develop trail northwest of Ardrossan Recreation Complex towards Highway 824                                  | Planning & Dev. Services                             |
| Develop trail paralleling Highway 824, from Main Street to Third Avenue                                      | Planning & Dev. Services                             |
| Develop Community Plaza within open space between Ardrossan Memorial Hall and Ardrossan Recreation Complex   | Planning & Dev. Services/ Recreation Parks & Culture |
| Develop Youth Park within open space between Ardrossan Memorial Hall and Ardrossan Recreation Complex        | Planning & Dev. Services/ Recreation Parks & Culture |
| Relocate outdoor rink to Ardrossan Recreation Complex property   | Planning & Dev. Services/ Recreation Parks & Culture |
| Expand Ardrossan reservoir   | Utilities  |
| Upgrade Water Pumps within Ardrossan reservoir   | Utilities  |
| Upgrade Wastewater Pumps at Ardrossan lagoon   | Utilities  |